



3. Proposal

3.1 Development Proposal

The proposal is to construct and use twenty-one (21) multiple dwellings on the subject site. Each dwelling will be single storey, with the development comprising 8 various designs and layout throughout the site. 14 two bedroom and 7 three bedroom units are proposed.

Unit Type A1 (Units 10 and 12) will comprise three bedrooms, main with ensuite, bathroom and separate powder room, laundry, kitchen and living space, and attached carport. A small porch will provide shelter from the elements and identify the front entry to the unit. This unit type will be clad with face brickwork and colorbond roofing. The maximum overall height of this unit type will be 4.976m.

Unit Type A2 (Units 11 and 13) is a mirror image of Unit Type A1 and will also comprise three bedrooms, main with ensuite, bathroom and separate powder room, laundry, kitchen and living space, and attached carport. A small porch will provide shelter from the elements and identify the front entry to the unit. This unit type will be clad with face brickwork and colorbond roofing. The maximum overall height of this unit type will be 4.976m.

Unit Type B1 (Unit 14) will comprise three bedrooms, main with ensuite, bathroom and separate powder room, laundry, kitchen and living space, and attached carport. A small porch will provide shelter from the elements and identify the front entry to the unit. This unit type will be clad with face brickwork and colorbond roofing. The maximum overall height of this unit type will be 4.976m.

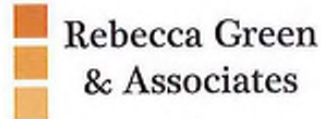
Unit Type B2 (Unit 9) will comprise three bedrooms, main with ensuite, bathroom and separate powder room, laundry, kitchen and living space, and attached carport. A small porch will provide shelter from the elements and identify the front entry to the unit. This unit type will be clad with face brickwork and colorbond roofing. The maximum overall height of this unit type will be 4.976m.

Unit Type C1 (Units 3, 5, 16 & 18) will comprise two bedrooms, main with ensuite, bathroom and separate powder room, laundry, kitchen and living space, and attached carport. A small porch will provide shelter from the elements and identify the front entry to the unit. This unit type will be clad with face brickwork and colorbond roofing. The maximum overall height of this unit type will be 4.976m.

Unit Type C2 (Units 2, 4, 6, 15, 17, 19 & 20) will comprise two bedrooms, main with ensuite, bathroom and separate powder room, laundry, kitchen and living space, and attached carport. A small porch will provide shelter from the elements and identify the front entry to the unit. This unit type will be clad with face brickwork and colorbond roofing. The maximum overall height of this unit type will be 4.976m.

Unit Type D1 (Units 1, 7 & 8) will comprise two bedrooms, main with ensuite, bathroom and separate powder room, laundry, kitchen and living space, and attached carport. A small porch will provide

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shelter from the elements and identify the front entry to the unit. This unit type will be clad with face brickwork and colorbond roofing. The maximum overall height of this unit type will be 4.976m.

Unit Type E1 (Unit 21) will also comprise three bedrooms, main with ensuite, bathroom and separate toilet, laundry, kitchen and living space, and attached carport. A small porch will provide shelter from the elements and identify the front entry to the unit. This unit type will be clad with face brickwork and colorbond roofing. The maximum overall height of this unit type will be 4.522m.

Each dwelling is to be provided with a 2500L poly slimline detention tank to address some minimal stormwater requirements.

Attached at Appendix B to this submission is a proposed plan of the development, prepared by AREI Designs

4. Planning Assessment

4.1 Northern Midlands Interim Planning Scheme 2013

The subject site is zoned General Residential within the *Northern Midlands Interim Planning Scheme 2013*, Version 35, effective from 26th April 2021 and is partly located within the Heritage Precinct overlay.

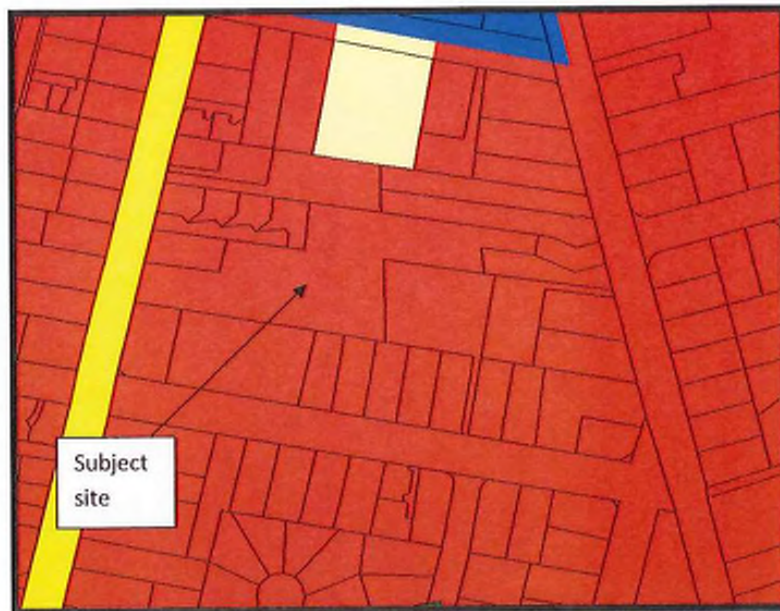
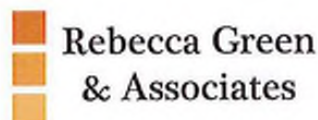


Figure 3: Zoning Map

(Red = General Residential Zone)

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10 General Residential Zone

10.1 Zone Purpose Statements

10.1.1.1 To provide for residential use or development that accommodates a range of dwelling types at suburban densities, where full infrastructure services are available or can be provided.

10.1.1.2 To provide for compatible non-residential uses that primarily serve the local community.

10.1.1.3 Non-residential uses are not to be at a level that distorts the primacy of residential uses within the zones, or adversely affect residential amenity through noise, activity outside of business hours traffic generation and movement or other off site impacts.

10.1.1.4 To encourage residential development that respects the neighbourhood character and provides a high standard of residential amenity.

Proposal Response

The proposal furthers the purpose of the zone. The proposal provides for a range of dwelling types at suburban densities. The design of the dwellings provide an appropriate response to the streetscape character, heritage character and contributes to high levels of residential amenity, particularly within the development itself.

10.1.2 Local Area Objectives

To consolidate growth within the existing urban land use framework of the towns and villages.

To manage development in the General residential zone as part of or context to the Heritage Precincts in the towns and villages.

To ensure developments within street reservations contribute positively to the Heritage Precincts in each settlement.

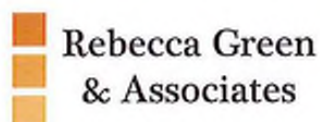
Proposal Response

The proposal meets the local area objective, as it provides for development within the urban growth boundary of Longford and has been designed to be complementary to the context within the Heritage Precinct.

10.2 Use Table

The proposed 21-unit development best fits the use class of Residential of which is a Permitted use within the General Residential Zone with qualification for multiple dwellings.

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Residential as defined by the Scheme means:

"use of land for self-contained or shared living accommodation. Examples include an ancillary dwelling, boarding house, communal residence, home-based business, hostel, residential aged care home, residential college, respite centre, retirement village and single or multiple dwellings."

Multiple dwellings as defined by the Scheme means:

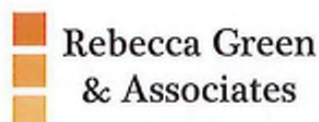
"means 2 or more dwellings on a site."

10.3 Use Standards

10.3.1 Amenity

Objective To ensure that non-residential uses do not cause an unreasonable loss of amenity to adjoining and nearby residential uses.	
Acceptable Solutions	Performance Criteria
A1 If for permitted or no permit required uses.	P1 The use must not cause or be likely to cause an environmental nuisance through emissions including noise and traffic movement, smoke, odour, dust and illumination.
Comment: Residential (multiple dwellings) is a permitted use in the General Residential zone. Acceptable solution met.	Not applicable.
A2 Commercial vehicles for discretionary uses must only operate between 7.00am and 7.00pm Monday to Friday and 8.00am to 6.00pm Saturday and Sunday.	P2 Commercial vehicle movements for discretionary uses must not unreasonably impact on the amenity of occupants of adjoining and nearby dwellings.
Comment: Residential (multiple dwellings) is a permitted use in the General Residential zone. Not applicable.	Not applicable.
A3 If for permitted or no permit required uses.	P3 External lighting must demonstrate that: a) floodlighting or security lights used on the site will not unreasonably impact on the amenity of adjoining land; and

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	b) all direct light will be contained within the boundaries of the site.
Comment: Residential (multiple dwellings) is a permitted use in the General Residential zone. Acceptable solution met.	Not applicable.

10.3.2 Residential Character – Discretionary Uses – not applicable.

10.4 Development Standards

10.4.1 Residential density for multiple dwellings

Objective: That the density for multiple dwellings: (a) Makes efficient use of land for housing; and (b) Optimises the use of infrastructure and community services.	
Acceptable Solutions	Performance Criteria
A1 Multiple dwellings must have a site area per dwelling of not less than 325m ² .	P1 Multiple dwellings must only have a site area per dwelling that is less than 325m ² , if the development will not exceed the capacity of infrastructure services and: (a) Is compatible with the density of existing development on established properties in the area; or (b) Provides for a significant social or community benefit and is: (i) wholly or partly within 400m walking distance of a public transport stop; or (ii) wholly or partly within 400m walking distance of an Inner Residential Zone, Village Zone, Urban Mixed Use Zone, Local Business Zone, General Business Zone, Central Business Zone or Commercial Zone.
Comment: The subject site has an area of 7572m ² . The proposed 21-unit development has a density	Not applicable.

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therefore of 1: 360.5m². Acceptable solution met.

10.4.2 Setbacks and building envelope for all dwellings

Objective: The siting and scale of dwellings:

- (a) provides reasonably consistent separation between dwellings and their frontage within a street;
- (b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;
- (c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and
- (d) provides reasonable access to sunlight for existing solar energy installations.

Acceptable Solutions

A1 Unless within a building area on a sealed plan, a dwelling, excluding garages, carports and protrusions that extend not more than 0.9m into the frontage setback, must have a setback from a frontage that is:

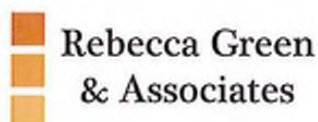
- (a) if the frontage is a primary frontage, not less than 4.5m, or, if the setback from the primary frontage is less than 4.5m, not less than the setback, from the primary frontage, of any existing dwelling on the site;
- (b) if the frontage is not a primary frontage, not less than 3m, or, if the setback from the frontage is less than 3m, not less than the setback, from a frontage that is not a primary frontage, of any existing dwelling on the site;
- (c) if for a vacant site and there are existing dwellings on adjoining properties on the same street, not more than the greater, or less than the lesser, setback for the equivalent frontage of the dwellings on the adjoining sites on the same street;
- (d) if located above a non-residential use at ground floor level, not less than the setback

Performance Criteria

P1 A dwelling must:

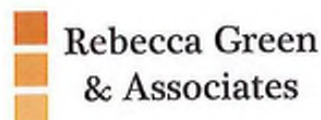
- (a) have a setback from a frontage that is compatible with the existing dwellings in the street, taking into account any topographical constraints; and
- (b) if abutting a road identified in Table 10.4.2, include additional design elements that assist in attenuating traffic noise or any other detrimental impacts associated with proximity to the road.

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from the frontage of the ground floor level; or (e) if the development is on land that abuts a road specified in Table 10.4.2, at least that specified for the road.	
<p>Comment:</p> <p>Although Unit 1 is to be predominantly setback 4.5m from the Marlborough Street frontage the porch protrusion extends beyond 900mm (1440mm).</p>	<p>Comment:</p> <p>Unit 1 meets performance criteria P1 (a) as the dwelling is setback from the frontage that is compatible with the existing dwellings in the street. There are a large number of existing dwellings with a setback less than 4.5m, including many in the close vicinity such as 39 Marlborough Street, 48 Marlborough Street and 54 Marlborough Street just to name a few. The proposal is considered to be consistent with the performance criteria.</p>
<p>A2 A garage or carport for a dwelling must have a setback from a primary frontage of not less than:</p> <p>(a) 5.5m, or alternatively 1m behind the building line;</p> <p>(b) the same as the building line, if a portion of the dwelling gross floor area is located above the garage or carport; or</p> <p>(c) 1m, if the existing ground level slopes up or down at a gradient steeper than 1 in 5 for a distance of 10m from the frontage.</p>	<p>P2 A garage or carport for a dwelling must have a setback from a primary frontage that is compatible with the setbacks of existing garages or carports in the street, having regard to any topographical constraints.</p>
<p>Comment:</p> <p>All carports are proposed to be at least 5.5m from a primary frontage, with the closest carport to the frontage being that of Unit 1 which is located behind the building. Acceptable solution met.</p>	<p>Not applicable.</p>
<p>A3 A dwelling, excluding outbuildings with a building height of not more than 2.4m and protrusions that extend not more than 0.9m horizontally beyond the building envelope, must:</p>	<p>P3 The siting and scale of a dwelling must:</p> <p>(a) not cause an unreasonable loss of amenity to adjoining properties, having regard to:</p>

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<p>(a) be contained within a building envelope (refer to Figures 10.1, 10.2 and 10.3) determined by:</p> <ul style="list-style-type: none"> (i) a distance equal to the frontage setback or, for an internal lot, a distance of 4.5m from the rear boundary of a property with an adjoining frontage; and (ii) projecting a line at an angle of 45 degrees from the horizontal at a height of 3m above existing ground level at the side and rear boundaries to a building height of not more than 8.5m above existing ground level; and <p>(b) only have a setback of less than 1.5m from a side or rear boundary if the dwelling:</p> <ul style="list-style-type: none"> (i) does not extend beyond an existing building built on or within 0.2m of the boundary of the adjoining property; or (ii) does not exceed a total length of 9m or one third the length of the side boundary (whichever is the lesser). 	<ul style="list-style-type: none"> (i) reduction in sunlight to a habitable room (other than a bedroom) of a dwelling on an adjoining property; (ii) overshadowing the private open space of a dwelling on an adjoining property; (iii) overshadowing of an adjoining vacant property; or (iv) visual impacts caused by the apparent scale, bulk or proportions of the dwelling when viewed from an adjoining property; <p>(b) provide separation between dwellings on adjoining properties that is consistent with that existing on established properties in the area; and</p> <p>(c) not cause an unreasonable reduction in sunlight to an existing solar energy installation on:</p> <ul style="list-style-type: none"> (i) an adjoining property; or (ii) another dwelling on the same site.
<p>Comment:</p> <p>Does not comply, due to the carport of Unit 14 being within 4.5m of the internal lot frontage and Unit 21 being within 1.5m of a side boundary (south). All other units comply with the acceptable solution.</p>	<p>Comment:</p> <p>It is considered that the variation to the side setback and internal lot frontage meets the performance criteria.</p> <p>(a) (i) The proposed carport attached to Unit 14 is open predominantly on all sides, and not to be enclosed. The dwelling at Unit 4/41 Marlborough Street (located immediately to the west of the subject site at this location) is located approximately 2.0m west of the shared boundary. The proposed carport due to the height and setback and inclusion of a</p>

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	<p>boundary fence and the adjacent unit is angled away from the boundary will not result in loss of sunlight to a habitable room. Unit 21 is located adjacent to an outbuilding on the southern neighbouring property. The adjacent dwelling on the southern neighbouring property is located away from Unit 21 and located further toward and adjacent to the street frontage further to the east.</p> <p>(ii) The private open space of the neighbouring dwellings is likely to not be provided along the shared boundaries with Unit 14 carport and Unit 21 boundary. Due to the single storey nature of the proposal, the openness of the carport of Unit 14 and boundary fencing the proposal is not likely to overshadow private open space of an adjoining dwelling.</p> <p>(iii) Not applicable.</p> <p>(iv) The proposal is residential in scale and the bulk of the buildings are articulated with the assistance of the existing boundary fence, the single storey height of the proposed development and the form to comply to heritage design standards, as well as the facades of the units being well articulated. Further, due to the shape of the site, the proposal is unable to move any further without impacting also on provision of providing private open space to the subject dwellings itself and easements burdening the site.</p> <p>(b) The proposal is residential in scale and the bulk of the buildings are articulated with the assistance of the existing boundary fence, the single storey height of the proposed development and the form to comply to heritage design standards.</p>
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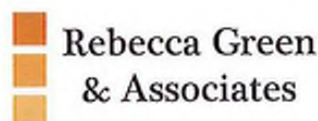


	<p>(c) (i) Due to the orientation of the site and proposed development, the proposal is not likely to cause an unreasonable reduction in sunlight to an existing solar energy installation, as aerial imagery available does not indicate the presence of such infrastructure on any adjacent site that would be potentially impacted.</p> <p>(ii) Not applicable.</p>
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10.4.3 Site coverage and private open space for all dwellings

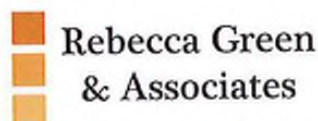
<p>Objective: That dwellings are compatible with the amenity and character of the area and provide:</p> <p>(a) for outdoor recreation and the operational needs of the residents;</p> <p>(b) opportunities for the planting of gardens and landscaping; and</p> <p>(c) private open space that is conveniently located and has access to sunlight.</p>	
Acceptable Solutions	Performance Criteria
<p>A1 Dwellings must have:</p> <p>(a) a site coverage of not more than 50% (excluding eaves up to 0.6m wide); and</p> <p>(b) for multiple dwellings, a total area of private open space of not less than 60m² associated with each dwelling, unless the dwelling has a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer).</p>	<p>P1 Dwellings must have:</p> <p>(a) site coverage consistent with that existing on established properties in the area;</p> <p>(b) private open space that is of a size and with dimensions that are appropriate for the size of the dwelling and is able to accommodate:</p> <p>(i) outdoor recreational space consistent with the projected requirements of the occupants and, for multiple dwellings, take into account any common open space provided for this purpose within the development; and</p> <p>(ii) operational needs, such as clothes drying and storage; and</p> <p>(c) reasonable space for the planting of gardens and landscaping.</p>

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<p>Comment:</p> <p>(a) The proposal has a site coverage of 35.64%. Acceptable solution met.</p> <p>(b) Private open space for each multiple dwelling ranges from 60.3m² (Unit 20) up to 164.9m² (Unit 13). Acceptable solution met.</p>	Not applicable.
<p>A2 A dwelling must have private open space that:</p> <p>(a) is in one location and is not less than:</p> <p>(i) 24m²; or</p> <p>(ii) 12m², if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(b) has a minimum horizontal dimension of not less than:</p> <p>(i) 4m; or</p> <p>(ii) 2m, if the dwelling is a multiple dwelling with a finished floor level that is entirely more than 1.8m above the finished ground level (excluding a garage, carport or entry foyer);</p> <p>(c) is located between the dwelling and the frontage only if the frontage is orientated between 30 degrees west of true north and 30 degrees east of true north; and</p> <p>(d) has a gradient not steeper than 1 in 10.</p>	<p>P2 A dwelling must have private open space that includes an area capable of serving as an extension of the dwelling for outdoor relaxation, dining, entertaining and children's play and is:</p> <p>(a) conveniently located in relation to a living area of the dwelling; and</p> <p>(b) orientated to take advantage of sunlight.</p>
<p>Comment:</p> <p>As shown on proposed plans, Page 3, each unit is provided with a private open space</p>	Not applicable.

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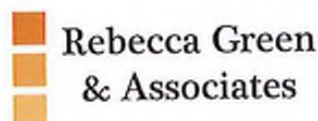
area of at least 24m², with a minimum horizontal dimension of 4.0m. Acceptable solution met.

10.4.4 Sunlight and overshadowing for all dwellings

Objective: That the separation between multiple dwellings provides reasonable opportunity for sunlight to private open space for dwellings on the same site.

Acceptable Solutions	Performance Criteria
<p>A1 A multiple dwelling, that is to the north of the private open space of another dwelling on the same site, required to satisfy A2 or P2 of clause 10.4.3, must satisfy (a) or (b), unless excluded by (c):</p> <p>(a) the multiple dwelling is contained within a line projecting (see Figure 10.4):</p> <ul style="list-style-type: none"> (i) at a distance of 3m from the northern edge of the private open space; and (ii) vertically to a height of 3m above existing ground level and then at an angle of 45 degrees from the horizontal; <p>(b) the multiple dwelling does not cause 50% of the private open space to receive less than 3 hours of sunlight between 9.00am and 3.00pm on 21st June; and</p> <p>(c) this Acceptable Solution excludes that part of a multiple dwelling consisting of:</p> <ul style="list-style-type: none"> (i) an outbuilding with a building height not more than 2.4m; or (ii) protrusions that extend not more than 0.9m horizontally from the multiple dwelling. 	<p>P1 A multiple dwelling must be designed and sited to not cause an unreasonable loss of amenity by overshadowing the private open space, of another dwelling on the same site, which is required to satisfy A2 or P2 of clause 10.4.3 of this planning scheme.</p>

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<p>Comment:</p> <p>Proposal complies, all units that are located north of the private open space of another unit are located at least 3.0m (noting unit 9 and unit 14). Acceptable solution met.</p>	Not applicable.
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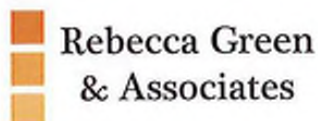
10.4.5 Width of openings for garages and carports for all dwellings

Objective: To reduce the potential for garage or carport openings to dominate the primary frontage.	
Acceptable Solutions	Performance Criteria
A1 A garage or carport within 12m of a primary frontage (whether the garage or carport is free-standing or part of the dwelling) must have a total width of openings facing the primary frontage of not more than 6m or half the width of the frontage (whichever is the lesser).	P1 A garage or carport must be designed to minimise the width of its openings that are visible from the street, so as to reduce the potential for the openings of a garage or carport to dominate the primary frontage.
Not applicable.	Not applicable.

10.4.6 Privacy for all dwellings

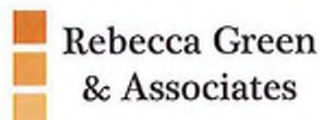
Objective: To provide reasonable opportunity for privacy for dwellings.	
Acceptable Solutions	Performance Criteria
A1 A balcony, deck, roof terrace, parking space, or carport (whether freestanding or part of the dwelling), that has a finished surface or floor level more than 1m above natural ground level must have a permanently fixed screen to a height of at least 1.7m above the finished surface or floor level, with a uniform transparency of no more than 25%, along the sides facing a: <ul style="list-style-type: none"> (a) side boundary, unless the balcony, deck, roof terrace, parking space, or carport has a 	P1 A balcony, deck, roof terrace, parking space or carport (whether freestanding or part of the dwelling) that has a finished surface or floor level more than 1m above natural ground level, must be screened, or otherwise designed, to minimise overlooking of: <ul style="list-style-type: none"> (a) a dwelling on an adjoining lot or its private open space; or (b) another dwelling on the same site or its private open space; or

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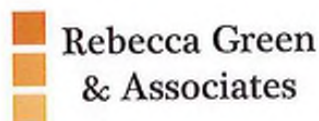
<p>setback of at least 3m from the side boundary; and</p> <p>(b) rear boundary, unless the balcony, deck, roof terrace, parking space, or carport has a setback of at least 4m from the rear boundary; and</p> <p>(c) dwelling on the same site, unless the balcony, deck, roof terrace, parking space, or carport is at least 6m:</p> <p>(i) from a window or glazed door, to a habitable room of the other dwelling on the same site; or</p> <p>(ii) from a balcony, deck, roof terrace or the private open space, of the other dwelling on the same site.</p>	<p>(c) an adjoining vacant residential lot.</p>
Not applicable.	Not applicable.
<p>A2 A window or glazed door to a habitable room of a dwelling, that has a floor level more than 1m above existing ground level, must satisfy (a), unless it satisfies (b):</p> <p>(a) the window or glazed door:</p> <p>(i) is to have a setback of not less than 3m from a side boundary;</p> <p>(ii) is to have a setback of not less than 4m from a rear boundary;</p> <p>(iii) if the dwelling is a multiple dwelling, is to be not less than 6m from a window or glazed door, to a habitable room, of another dwelling on the same site; and</p> <p>(iv) if the dwelling is a multiple dwelling, is to be not less than 6m from the private open space of another dwelling on the same site.</p>	<p>P2 A window or glazed door to a habitable room of a dwelling that has a floor level more than 1m above existing ground level, must be screened, or otherwise located or designed, to minimise direct views to:</p> <p>(a) a window or glazed door, to a habitable room of another dwelling; and</p> <p>(b) the private open space of another dwelling.</p>

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<p>(b) the window or glazed door:</p> <ul style="list-style-type: none"> (i) is to be offset, in the horizontal plane, not less than 1.5m from the edge of a window or glazed door, to a habitable room of another dwelling; (ii) is to have a sill height of not less than 1.7m above the floor level or have fixed obscure glazing extending to a height of not less than 1.7m above the floor level; or (iii) is to have a permanently fixed external screen for the full length of the window or glazed door, to a height of not less than 1.7m above floor level, with a uniform transparency of not more than 25%. 	
Not applicable.	Not applicable.
<p>A3 A shared driveway or parking space (excluding a parking space allocated to that dwelling) must be separated from a window, or glazed door, to a habitable room of a multiple dwelling by a horizontal distance of at least:</p> <ul style="list-style-type: none"> (a) 2.5m; or (b) 1m if: <ul style="list-style-type: none"> (i) it is separated by a screen of at least 1.7m in height; or (ii) the window, or glazed door, to a habitable room has a sill height of at least 1.7m above the shared driveway or parking space, or has fixed obscure glazing extending to a height of at least 1.7 m above the floor level. 	<p>P3 A shared driveway or parking space (excluding a parking space allocated to that dwelling), must be screened, or otherwise located or designed, to minimise detrimental impacts of vehicle noise or vehicle light intrusion to a habitable room of a multiple dwelling.</p>
Comment:	It is considered that the proposal meets the performance criteria. Plans submitted indicate

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Does not comply. Proposal relies upon assessment against performance criteria.	hedge planting which assists to mitigate vehicle lighting entering habitable rooms from the driveway. Plans also provided notations (elevations pages) to indicate that double glazing and obscured glass is provided to specific areas for privacy. Unit 20 has been designed to Type C2 so that no habitable windows are next to the common driveway.
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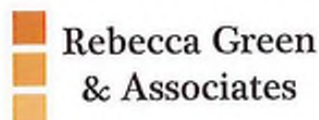
10.4.7 Frontage fences for all dwellings

Objective: The height and transparency of frontage fences: <ul style="list-style-type: none"> (a) provides adequate privacy and security for residents; (b) allows the potential for mutual passive surveillance between the road and the dwelling; and (c) is reasonably consistent with that on adjoining properties. 	
Acceptable Solutions	Performance Criteria
A1 No Acceptable Solution ²	A fence (including a free-standing wall) for a dwelling within 4.5m of a frontage must: <ul style="list-style-type: none"> (a) provide for security and privacy while allowing for passive surveillance of the road; and (b) be compatible with the height and transparency of fences in the street, having regard to: <ul style="list-style-type: none"> (i) the topography of the site; and (ii) traffic volumes on the adjoining road.
Not applicable. Proposed fencing as shown on Page 4 of plans, meet Exemption 5.6.3.	Not applicable.

10.4.8 – 10.4.14 – Complies, each unit is provided with a storage area of at least 1.5m² for waste and recycling bins, and have access to at least 6 cubic metres of secure storage space. The proposal plans clearly delineate public, communal and private areas and the provision of mailboxes at the frontage (see Page 4).

10.4.15 – Not applicable, the proposal does not include subdivision.

EXHIBITED



4.2 Other Planning Considerations

ASSESSMENT AGAINST E4.0

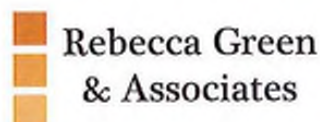
ROAD AND RAILWAY ASSETS CODE

E4.6 Use Standards

E4.6.1 Use and road or rail infrastructure

Objective To ensure that the safety and efficiency of road and rail infrastructure is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.	
Acceptable Solutions	Performance Criteria
A1 Sensitive use on or within 50m of a category 1 or 2 road, in an area subject to a speed limit of more than 60km/h, a railway or future road or railway must not result in an increase to the annual average daily traffic (AADT) movements to or from the site by more than 10%.	P1 Sensitive use on or within 50m of a category 1 or 2 road, in an area subject to a speed limit of more than 60km/h, a railway or future road or railway must demonstrate that the safe and efficient operation of the infrastructure will not be detrimentally affected.
Not applicable.	Not applicable.
A2 For roads with a speed limit of 60km/h or less the use must not generate more than a total of 40 vehicle entry and exit movements per day.	P2 For roads with a speed limit of 60km/h or less, the level of use, number, location, layout and design of accesses and junctions must maintain an acceptable level of safety for all road users, including pedestrians and cyclists.
Comment: A2 is not satisfied.	Comment: The estimated traffic generated by the proposal is 105vpd. A Traffic Impact Assessment, contained at Appendix C to this submission demonstrates compliance with the performance criteria.
A3 For roads with a speed limit of more than 60km/h the use must not increase the annual average daily traffic (AADT) movements	P3 For limited access roads and roads with a speed limit of more than 60km/h:

EXHIBITED



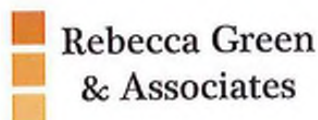
at the existing access or junction by more than 10%.	<p>a) access to a category 1 road or limited access road must only be via an existing access or junction or the use or development must provide a significant social and economic benefit to the State or region; and</p> <p>b) any increase in use of an existing access or junction or development of a new access or junction to a limited access road or a category 1, 2 or 3 road must be for a use that is dependent on the site for its unique resources, characteristics or locational attributes and an alternate site or access to a category 4 or 5 road is not practicable; and</p> <p>c) an access or junction which is increased in use or is a new access or junction must be designed and located to maintain an adequate level of safety and efficiency for all road users.</p>
Not applicable.	Not applicable.

E4.7 Development Standards

E4.7.1 Development on and adjacent to Existing and Future Arterial Roads and Railways

<p>Objective</p> <p>To ensure that development on or adjacent to category 1 or 2 roads (outside 60km/h), railways and future roads and railways is managed to:</p> <p>a) ensure the safe and efficient operation of roads and railways; and</p> <p>b) allow for future road and rail widening, realignment and upgrading; and</p> <p>c) avoid undesirable interaction between roads and railways and other use or development.</p>	
Acceptable Solutions	Performance Criteria
<p>A1 The following must be at least 50m from a railway, a future road or railway, and a category 1 or 2 road in an area subject to a speed limit of more than 60km/h:</p>	<p>P1 Development including buildings, road works, earthworks, landscaping works and level crossings on or within 50m of a category 1 or 2 road, in an area subject to a speed limit of more than 60km/h, a railway or future road or</p>

EXHIBITED

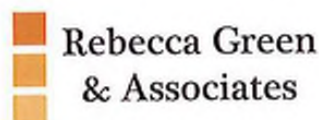


<p>a) new road works, buildings, additions and extensions, earthworks and landscaping works; and</p> <p>b) building areas on new lots; and</p> <p>c) outdoor sitting, entertainment and children's play areas</p>	<p>railway must be sited, designed and landscaped to:</p> <p>a) maintain or improve the safety and efficiency of the road or railway or future road or railway, including line of sight from trains; and</p> <p>b) mitigate significant transport-related environmental impacts, including noise, air pollution and vibrations in accordance with a report from a suitably qualified person; and</p> <p>c) ensure that additions or extensions of buildings will not reduce the existing setback to the road, railway or future road or railway; and</p> <p>d) ensure that temporary buildings and works are removed at the applicant's expense within three years or as otherwise agreed by the road or rail authority.</p>
Not applicable.	Not applicable.

E4.7.2 Management of Road Accesses and Junctions

<p>Objective</p> <p>To ensure that the safety and efficiency of roads is not reduced by the creation of new accesses and junctions or increased use of existing accesses and junctions.</p>	
Acceptable Solutions	Performance Criteria
<p>A1 For roads with a speed limit of 60km/h or less the development must include only one access providing both entry and exit, or two accesses providing separate entry and exit.</p>	<p>P1 For roads with a speed limit of 60km/h or less, the number, location, layout and design of accesses and junctions must maintain an acceptable level of safety for all road users, including pedestrians and cyclists.</p>
<p>Comment:</p> <p>Proposal complies.</p>	Not applicable.

EXHIBITED

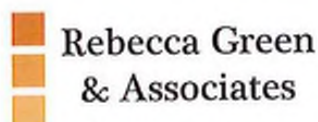


<p>A2 For roads with a speed limit of more than 60km/h the development must not include a new access or junction.</p>	<p>P2 For limited access roads and roads with a speed limit of more than 60km/h:</p> <p>a) access to a category 1 road or limited access road must only be via an existing access or junction or the development must provide a significant social and economic benefit to the State or region; and</p> <p>b) any increase in use of an existing access or junction or development of a new access or junction to a limited access road or a category 1, 2 or 3 road must be dependent on the site for its unique resources, characteristics or locational attributes and an alternate site or access to a category 4 or 5 road is not practicable; and</p> <p>c) an access or junction which is increased in use or is a new access or junction must be designed and located to maintain an adequate level of safety and efficiency for all road users.</p>
Not applicable.	Not applicable.

E4.7.3 Management of Rail Level Crossings

<p>Objective</p> <p>To ensure that the safety and the efficiency of a railway is not unreasonably reduced by access across the railway.</p>	
Acceptable Solutions	Performance Criteria

EXHIBITED



<p>A1 Where land has access across a railway:</p> <p>a) development does not include a level crossing; or</p> <p>b) development does not result in a material change onto an existing level crossing.</p>	<p>P1 Where land has access across a railway:</p> <p>a) the number, location, layout and design of level crossings maintain or improve the safety and efficiency of the railway; and</p> <p>b) the proposal is dependent upon the site due to unique resources, characteristics or location attributes and the use or development will have social and economic benefits that are of State or regional significance; or</p> <p>c) it is uneconomic to relocate an existing use to a site that does not require a level crossing; and</p> <p>d) an alternative access or junction is not practicable.</p>
Not applicable.	Not applicable.

E4.7.4 Sight Distance at Accesses, Junctions and Level Crossings

<p>Objective</p> <p>To ensure that use and development involving or adjacent to accesses, junctions and level crossings allows sufficient sight distance between vehicles and between vehicles and trains to enable safe movement of traffic.</p>	
Acceptable Solutions	Performance Criteria
<p>A1 Sight distances at</p> <p>a) an access or junction must comply with the Safe Intersection Sight Distance shown in Table E4.7.4; and</p> <p>b) rail level crossings must comply with <i>AS1742.7 Manual of uniform traffic control devices - Railway crossings</i>, Standards Association of Australia; or</p> <p>c) If the access is a temporary access, the written consent of the relevant authority has been obtained.</p>	<p>P1 The design, layout and location of an access, junction or rail level crossing must provide adequate sight distances to ensure the safe movement of vehicles.</p>

EXHIBITED

Comment:

Complies with A1. A Traffic Impact Assessment contained at Appendix C to this submission demonstrates compliance.

Not applicable.

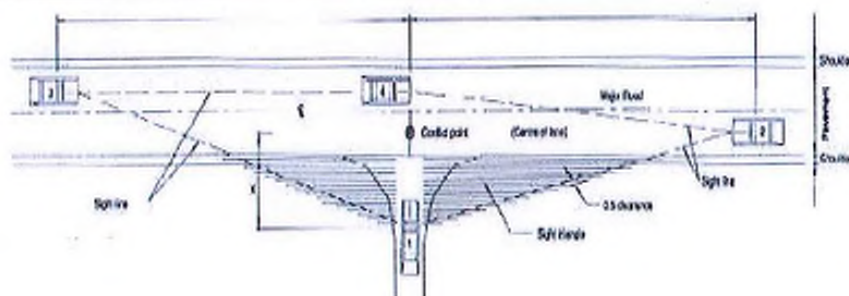


Figure E4.7.4 Sight Lines for Accesses and Junctions

X is the distance of the driver from the conflict point.

For category 1, 2 and 3 roads X = 7m minimum and for other roads X = 5m minimum.

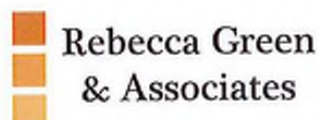
Table E4.7.4 Safe Intersection Sight Distance (SISD)

Vehicle Speed	Safe Intersection Sight Distance (SISD) metres, for speed limit of:	
km/h	60 km/h or less	Greater than 60 km/h
50	80	90
60	105	115
70	130	140
80	165	175
90		210
100		250
110		290

Notes:

- (a) Vehicle speed is the actual or recorded speed of traffic passing along the road and is the speed at or below which 85% of passing vehicles travel.

EXHIBITED



- (b) For safe intersection sight distance (SISD):
- (i) All sight lines (driver to object vehicle) are to be between points 1.2 metres above the road and access surface at the respective vehicle positions with a clearance to any sight obstruction of 0.5 metres to the side and below, and 2.0 metres above all sight lines;
 - (ii) These sight line requirements are to be maintained over the full sight triangle for vehicles at any point between positions 1, 2 and 3 in Figure E4.7.4 and the access junction;
 - (iii) A driver at position 1 must have sight lines to see cars at any point between the access and positions 3 and 2 in Figure E4.7.4;
 - (iv) A driver at any point between position 3 and the access must have sight lines to see a car at position 4; and
 - (v) A driver at position 4 must have sight lines to see a car at any point between position 2 and the access.

ASSESSMENT AGAINST E6.0

CAR PARKING & SUSTAINABLE TRANSPORT CODE

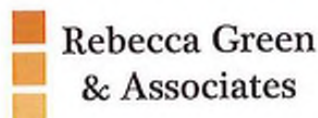
E6.6 Use Standards

E6.6.1 Car Parking Numbers

Objective: To ensure that an appropriate level of car parking is provided to service use.

Acceptable Solutions		Performance Criteria	
A1	The number of car parking spaces must not be less than the requirements of:	P1	The number of car parking spaces provided must have regard to:
a)	Table E6.1; or	a)	the provisions of any relevant location specific car parking plan; and
b)	a parking precinct plan contained in Table E6.6: Precinct Parking Plans (except for dwellings in the General Residential Zone).	b)	the availability of public car parking spaces within reasonable walking distance; and
		c)	any reduction in demand due to sharing of spaces by multiple uses either because of variations in peak demand or by efficiencies gained by consolidation; and
		d)	the availability and frequency of public transport within reasonable walking distance of the site; and
		e)	site constraints such as existing buildings, slope, drainage, vegetation and landscaping; and
		f)	the availability, accessibility and safety of on-road parking, having regard to the nature of the roads, traffic management and other uses in the vicinity; and
		g)	an empirical assessment of the car parking demand; and
		h)	the effect on streetscape, amenity and vehicle, pedestrian and cycle safety and convenience; and

EXHIBITED



	i) the recommendations of a traffic impact assessment prepared for the proposal; and j) any heritage values of the site; and k) for residential buildings and multiple dwellings, whether parking is adequate to meet the needs of the residents having regard to: i) the size of the dwelling and the number of bedrooms; and ii) the pattern of parking in the locality; and iii) any existing structure on the land.
Comment: The proposal complies with the acceptable solution for parking. The proposal provides for two parking spaces per unit and six visitor parking spaces.	

Table E6.1: Parking Space Requirements

Use	Parking Requirement	
	Vehicle	Bicycle
<i>If a 1 bedroom or studio dwelling in the General Residential Zone (including all rooms capable of being used as a bedroom)</i>	1 space per dwelling	1 space per unit or 1 spaces per 5 bedrooms in other forms of accommodation.
<i>If a 2 or more bedroom dwelling in the General Residential Zone (including all rooms capable of being used as a bedroom)</i>	2 spaces per dwelling	

E6.6.2 Bicycle Parking Numbers

Objective: To encourage cycling as a mode of transport within areas subject to urban speed zones by ensuring safe, secure and convenient parking for bicycles.

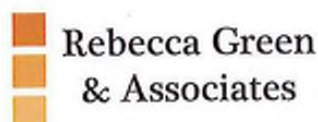
Acceptable Solutions	Performance Criteria
A1.1 Permanently accessible bicycle parking or storage spaces must be provided either on the site or within 50m of the site in accordance with the requirements of Table E6.1; or A1.2 The number of spaces must be in accordance with a parking precinct plan contained in Table E6.6: Precinct Parking Plans.	P1 Permanently accessible bicycle parking or storage spaces must be provided having regard to the: a) likely number and type of users of the site and their opportunities and likely preference for bicycle travel; and b) location of the site and the distance a cyclist would need to travel to reach the site; and c) availability and accessibility of existing and planned parking facilities for bicycles in the vicinity.

Comment:
 Complies – sufficient space for one bicycle parking space available within carport.

E6.6.3 Taxi Drop-off and Pickup

Objective: To ensure that taxis can adequately access developments.	
Acceptable Solutions	Performance Criteria

EXHIBITED



A1	One dedicated taxi drop-off and pickup space must be provided for every 50 car spaces required by Table E6.1 or part thereof (except for dwellings in the General Residential Zone).	P1	No performance criteria.
Comment: Not applicable.			

E6.6.4 Motorbike Parking Provisions

Objective: To ensure that motorbikes are adequately provided for in parking considerations.			
Acceptable Solutions		Performance Criteria	
A1	One motorbike parking space must be provided for each 20 car spaces required by Table E6.1 or part thereof.	P1	No performance criteria.
Comment: Complies, two motorbike parking spaces are proposed.			

E6.7 Development Standards

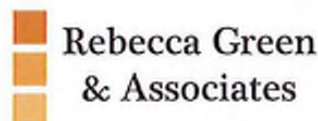
E6.7.1 Construction of Car Parking Spaces and Access Strips

Objective: To ensure that car parking spaces and access strips are constructed to an appropriate standard.			
Acceptable Solutions		Performance Criteria	
A1	All car parking, access strips manoeuvring and circulation spaces must be:	P1	All car parking, access strips manoeuvring and circulation spaces must be readily identifiable and constructed to ensure that they are useable in all weather conditions.
a)	formed to an adequate level and drained; and		
b)	except for a single dwelling, provided with an impervious all weather seal; and		
c)	except for a single dwelling, line marked or provided with other clear physical means to delineate car spaces.		
Comment: Complies with A1 – refer plans.			

E6.7.2 Design and Layout of Car Parking

Objective: To ensure that car parking and manoeuvring space are designed and laid out to an appropriate standard.			
Acceptable Solutions		Performance Criteria	
A1.1	Where providing for 4 or more spaces, parking areas (other than for parking located in garages and carports for dwellings in the General Residential Zone) must be located behind the building line; and	P1	The location of car parking and manoeuvring spaces must not be detrimental to the streetscape or the amenity of the surrounding areas, having regard to:
A1.2	Within the General residential zone, provision for turning must not be located within the front setback for residential buildings or multiple dwellings.	a)	the layout of the site and the location of existing buildings; and
		b)	views into the site from the road and adjoining public spaces; and
		c)	the ability to access the site and the rear of buildings; and

EXHIBITED



	d) the layout of car parking in the vicinity; and e) the level of landscaping proposed for the car parking.
Comment: Complies with A1.1 and A1.2.	
A2.1 Car parking and manoeuvring space must: a) have a gradient of 10% or less; and b) where providing for more than 4 cars, provide for vehicles to enter and exit the site in a forward direction; and c) have a width of vehicular access no less than prescribed in Table E6.2 and Table E6.3, and A2.2 The layout of car spaces and access ways must be designed in accordance with <i>Australian Standards AS 2890.1 - 2004 Parking Facilities, Part 1: Off Road Car Parking</i> .	P2 Car parking and manoeuvring space must: a) be convenient, safe and efficient to use having regard to matters such as slope, dimensions, layout and the expected number and type of vehicles; and b) provide adequate space to turn within the site unless reversing from the site would not adversely affect the safety and convenience of users and passing traffic.
Comment: A2.1 a) Complies b) Complies. c) Complies. A2.2 – Complies.	

Table E6.2: Access Widths for Vehicles

Number of parking spaces served	Access width (see note 1)	Passing bay (2.0m wide by 5.0m long plus entry and exit tapers) (see note 2)
21 and over	5.5m	Not applicable

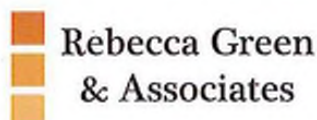
E6.7.3 Car Parking Access, Safety and Security

Objective: To ensure adequate access, safety and security for car parking and for deliveries.	
Acceptable Solutions	Performance Criteria
A1 Car parking areas with greater than 20 parking spaces must be: a) secured and lit so that unauthorised persons cannot enter or; b) visible from buildings on or adjacent to the site during the times when parking occurs.	P1 Car parking areas with greater than 20 parking spaces must provide for adequate security and safety for users of the site, having regard to the: a) levels of activity within the vicinity; and b) opportunities for passive surveillance for users of adjacent building and public spaces adjoining the site.
Comment: Complies.	

E6.7.4 Parking for Persons with a Disability

Objective: To ensure adequate parking for persons with a disability.
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EXHIBITED



Acceptable Solutions	Performance Criteria
A1 All spaces designated for use by persons with a disability must be located closest to the main entry point to the building.	P1 The location and design of parking spaces considers the needs of disabled persons, having regard to: <ul style="list-style-type: none"> a) the topography of the site; b) the location and type of relevant facilities on the site or in the vicinity; c) the suitability of access pathways from parking spaces, and d) applicable Australian Standards.
A2 One of every 20 parking spaces or part thereof must be constructed and designated for use by persons with disabilities in accordance with <i>Australian Standards AS/NZ 2890.6 2009</i> .	P2 The number of parking spaces provided is appropriate for the needs of disabled persons, having regard to: <ul style="list-style-type: none"> a) characteristics of the populations to be served; b) their means of transport to and from the site; and c) applicable Australian Standards.
Comment: Not applicable – private dwellings.	

E6.7.6 Loading and Unloading of Vehicles, Drop-off and Pickup

Objective: To ensure adequate access for people and goods delivery and collection and to prevent loss of amenity and adverse impacts on traffic flows.

Acceptable Solutions	Performance Criteria
A1 For retail, commercial, industrial, service industry or warehouse or storage uses: <ul style="list-style-type: none"> a) at least one loading bay must be provided in accordance with Table E6.4; and b) loading and bus bays and access strips must be designed in accordance with <i>Australian Standard AS/NZS 2890.3 2002</i> for the type of vehicles that will use the site. 	P1 For retail, commercial, industrial, service industry or warehouse or storage uses adequate space must be provided for loading and unloading the type of vehicles associated with delivering and collecting people and goods where these are expected on a regular basis.
Comment: Not applicable – residential use.	

E6.8 Provisions for Sustainable Transport

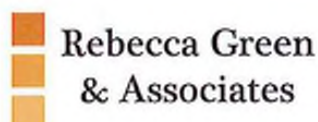
E6.8.1 Bicycle End of Trip Facilities

Not used in this planning scheme

E6.8.2 Bicycle Parking Access, Safety and Security

Objective:

EXHIBITED



To ensure that parking and storage facilities for bicycles are safe, secure and convenient.	
Acceptable Solutions	Performance Criteria
A1.1 Bicycle parking spaces for customers and visitors must: a) be accessible from a road, footpath or cycle track; and b) include a rail or hoop to lock a bicycle to that meets <i>Australian Standard AS 2890.3 1993</i> ; and c) be located within 50m of and visible or signposted from the entrance to the activity they serve; and d) be available and adequately lit in accordance with <i>Australian Standard AS/NZS 1158 2005 Lighting Category C2</i> during the times they will be used; and A1.2 Parking space for residents' and employees' bicycles must be under cover and capable of being secured by lock or bicycle lock.	P1 Bicycle parking spaces must be safe, secure, convenient and located where they will encourage use.
A2 Bicycle parking spaces must have: a) minimum dimensions of: i) 1.7m in length; and ii) 1.2m in height; and iii) 0.7m in width at the handlebars; and b) unobstructed access with a width of at least 2m and a gradient of no more 5% from a public area where cycling is allowed.	P2 Bicycle parking spaces and access must be of dimensions that provide for their convenient, safe and efficient use.
Comment: Complies with A1.2 & A2.	

E6.8.5 Pedestrian Walkways

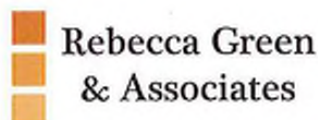
Objective: To ensure pedestrian safety is considered in development	
Acceptable Solution	Performance Criteria
A1 Pedestrian access must be provided for in accordance with Table E6.5.	P1 Safe pedestrian access must be provided within car park and between the entrances to buildings and the road.
Comment: Complies with P1. A Traffic Impact Assessment contained at Appendix C to this submission demonstrates compliance with the performance criteria.	

Table E6.5: Pedestrian Access

Number of Parking Spaces Required	Pedestrian Facility
1-10	No separate access required (i.e. pedestrians may share the driveway). [Note (a) applies].
11 or more	A 1m wide footpath separated from the driveway and parking aisles except at crossing points. [Notes (a) and (b) apply].

Notes

EXHIBITED



- a) *In parking areas containing spaces allocated for disabled persons, a footpath having a minimum width of 1.5m and a gradient not exceeding 1 in 14 is required from those spaces to the principal building.*
- b) *Separation is deemed to be achieved by:*
 - i) *a horizontal distance of 2.5m between the edge of the driveway and the footpath; or*
 - ii) *protective devices such as bollards, guard rails or planters between the driveway and the footpath; and*
 - iii) *signs and line marking at points where pedestrians are intended to cross driveways or parking aisles.*

ASSESSMENT AGAINST E13.0

LOCAL HISTORIC HERITAGE CODE

E13.1 Purpose

E13.1.1 The purpose of this provision is to:

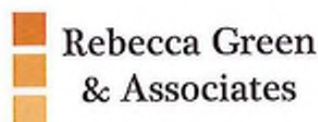
- a) *protect and enhance the historic cultural heritage significance of local heritage places and heritage precincts; and*
- b) *encourage and facilitate the continued use of these items for beneficial purposes; and*
- c) *discourage the deterioration, demolition or removal of buildings and items of assessed heritage significance; and*
- d) *ensure that new use and development is undertaken in a manner that is sympathetic to, and does not detract from, the cultural significance of the land, buildings and items and their settings; and*
- e) *conserve specifically identified heritage places by allowing a use that otherwise may be prohibited if this will demonstratively assist in conserving that place*

E13.2 Application of the Code

E13.2.1 This code applies to use or development of land that is:

- a) *within a Heritage Precinct;*
- b) *a local heritage place;*
- c) *a place of identified archaeological significance.*

EXHIBITED



E13.3 Use or Development Exempt from this Code

E13.3.1 The following use or development is exempt from this code:

- a) works required to comply with an Emergency Order issued under Section 162 of the Building Act 2000;
- b) electricity, optic fibre and telecommunication cables and gas lines to individual buildings which connect above ground or utilise existing service trenches;
- c) internal alterations to buildings if the interior is not included in the historic heritage significance of the place or precinct;
- d) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;
- e) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;
- f) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and
- g) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.

Comment:

The subject site is within a Heritage Precinct.

E13.5 USE STANDARDS

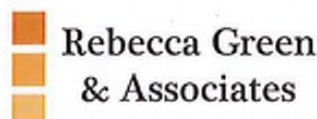
E13.5.1 Alternative Use of heritage buildings

N/a

E13.6 DEVELOPMENT STANDARDS

E13.6.1 Demolition

Objective: To ensure that the demolition or removal of buildings and structures does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.



Acceptable Solutions	Performance Criteria
A1 — Removal of non-original cladding to expose original cladding.	<p>P1.1 Existing buildings, parts of buildings and structures must be retained except:</p> <ul style="list-style-type: none"> a) where the physical condition of place makes restoration inconsistent with maintaining the cultural significance of a place in the long term; or b) the demolition is necessary to secure the long-term future of a building or structure through renovation, reconstruction or rebuilding; or c) there are overriding environmental, economic considerations in terms of the building or practical considerations for its removal, either wholly or in part; or d) the building is identified as non-contributory within a precinct identified in Table E13.1: Heritage Precincts, if any; and <p>P1.2 Demolition must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria. The existing dilapidated shed is to be demolished as part of this proposal.

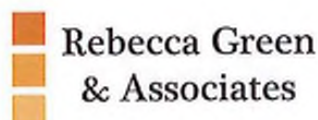
E13.6.2 Subdivision and development density

Objective: To ensure that subdivision and development density does not impact on the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 — No acceptable solution.	<p>P1 — Subdivision must:</p> <ul style="list-style-type: none"> a) — be consistent with and reflect the historic development pattern of the precinct or area; and b) — not facilitate buildings or a building pattern unsympathetic to the character or layout of buildings and lots in the area; and c) — not result in the separation of building or structures from their original context where this leads to a loss of historic heritage significance; and d) — not require the removal of vegetation, significant trees or garden settings where this is assessed as detrimental to conserving the historic heritage significance of a place or heritage precinct; and e) — not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

EXHIBITED



E13.6.3 Site Cover

Objective: To ensure that site coverage is consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts, if any.

Acceptable Solutions	Performance Criteria
A1 Site coverage must be in accordance with the acceptable development criterion for site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.	<p>P1 The site coverage must:</p> <p>a) be appropriate to maintaining the character and appearance of the building or place, and the appearance of adjacent buildings and the area; and</p> <p>b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.

E13.6.4 Height and Bulk of Buildings

Objective: To ensure that the height and bulk of buildings are consistent with historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New building must be in accordance with the acceptable development criteria for heights of buildings or structures within a precinct identified in Table E13.1: Heritage Precincts, if any.	<p>P1.1 The height and bulk of any proposed buildings must not adversely affect the importance, character and appearance of the building or place, and the appearance of adjacent buildings; and</p> <p>P1.2 Extensions proposed to the front or sides of an existing building must not detract from the historic heritage significance of the building; and</p> <p>P1.3 The height and bulk of any proposed buildings must not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: Satisfies the performance criteria.

E13.6.5 Fences

Objective: To ensure that fences are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New fences must be in accordance with the acceptable development criteria for fence type and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	<p>P1 New fences must:</p> <p>a) be designed to be complementary to the architectural style of the dominant buildings on the site or</p> <p>b) be consistent with the dominant fencing style in the heritage precinct; and</p>

EXHIBITED



	c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.
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Comment: Satisfies the performance criteria.

E13.6.6 Roof Form and Materials

Objective: To ensure that roof form and materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Roof form and materials must be in accordance with the acceptable development criteria for roof form and materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Roof form and materials for new buildings and structures must: a) be sympathetic to the historic heritage significance, design and period of construction of the dominant existing buildings on the site; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: Satisfies the performance criteria.

E13.6.7 Wall materials

Objective: To ensure that wall materials are designed to be sympathetic to, and not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 Wall materials must be in accordance with the acceptable development criteria for wall materials within a precinct identified in Table E13.1: Heritage Precincts, if any.	P1 Wall material for new buildings and structures must: a) be complementary to wall materials of the dominant buildings on the site or in the precinct; and b) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

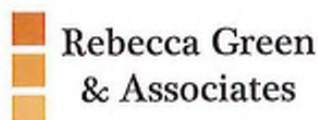
Comment: Satisfies the performance criteria.

E13.6.8 Siting of Buildings and Structures

Objective: To ensure that the siting of buildings, does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 New buildings and structures must be in accordance with the acceptable development criteria for	P1 The front setback for new buildings or structure must:

EXHIBITED



setbacks of buildings and structures to the road within a precinct identified in Table E13.1: Heritage Precincts, if any.	<p>a) be consistent with the setback of surrounding buildings; and</p> <p>b) be set at a distance that does not detract from the historic heritage significance of the place; and</p> <p>c) not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>
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Comment: Satisfies the performance criteria.

E13.6.9 Outbuildings and Structures

Objective: To ensure that the siting of outbuildings and structures does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
<p>A1 Outbuildings and structures must be:</p> <p>a) set back an equal or greater distance from the principal frontage than the principal buildings on the site; and</p> <p>b) in accordance with the acceptable development criteria for roof form, wall material and site coverage within a precinct identified in Table E13.1: Heritage Precincts, if any.</p>	<p>P1 New outbuildings and structures must be designed and located;</p> <p>a) to be subservient to the primary buildings on the site; and</p> <p>b) to not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: N/a

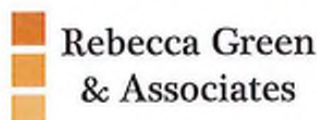
E13.6.10 Access Strips and Parking

Objective: To ensure that access and parking does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
<p>A1 Car parking areas for non-residential purposes must be:</p> <p>a) located behind the primary buildings on the site; or</p> <p>b) in accordance with the acceptable development criteria for access and parking as within a precinct identified in Table 1: Heritage Precincts, if any.</p>	<p>P1 Car parking areas for non-residential purposes must not:</p> <p>a) result in the loss of building fabric or the removal of gardens or vegetated areas where this would be detrimental to the setting of a building or its historic heritage significance; and</p> <p>b) detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.</p>

Comment: N/a

EXHIBITED

**E13.6.11 Places of Archaeological Significance**

Objective: To ensure that places identified in Table E13.3 as having archaeological significance are appropriately managed.

Acceptable Solutions	Performance Criteria
A1 — No acceptable solution.	P1 — For works impacting on places listed in Table E13.3: a) — it must be demonstrated that all identified archaeological remains will be identified, recorded and conserved; and b) — details of survey, sampling and recording techniques technique be provided; and c) — that places of identified historic heritage significance will not be destroyed unless there is no prudent and feasible alternative.

Comment: N/a

E13.6.12 Tree and Vegetation Removal

Objective: To ensure that the removal, destruction or lopping of trees or the removal of vegetation does not detract from the historic heritage significance of local heritage places and the ability to achieve management objectives within identified heritage precincts.

Acceptable Solutions	Performance Criteria
A1 — No acceptable solution.	P1 — The removal of vegetation must not: a) — unreasonably impact on the historic cultural significance of the place; and b) — detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

E13.6.13 Signage

Objective: To ensure that signage is appropriate to conserve the historic heritage significance of local heritage places and precincts.

Acceptable Solutions	Performance Criteria
A1 — Must be a sign identifying the number, use, heritage significance, name or occupation of the owners of the property not greater than 0.2m².	P1 — New signs must be of a size and location to ensure that: a) — period details, windows, doors and other architectural details are not covered or removed; and b) — heritage fabric is not removed or destroyed through attaching signage; and c) — the signage does not detract from the setting of a heritage place or does not unreasonably impact on the view of the place from public viewpoints; and d) — signage does not detract from meeting the management objectives of a precinct identified in Table E13.1: Heritage Precincts, if any.

Comment: N/a

EXHIBITED

**E13.6.14 Maintenance and Repair****Objective**

To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the historic cultural heritage significance of local heritage places and precincts.

Acceptable Solution

New materials and finishes used in the maintenance and repair of buildings match the materials and finishes that are being replaced.

Comment: N/a

Table E13.1: Local Heritage Precincts

For the purpose of this table, Heritage Precincts refers to those areas listed, and shown on the Planning Scheme maps as Heritage Precincts.

Existing Character Statement - Description and Significance**LONGFORD HERITAGE PRECINCT CHARACTER STATEMENT**

The Longford Heritage Precinct is unique because it is the core of an intact nineteenth century townscape, rich with significant structures and the atmosphere of a centre of trade and commerce for the district. Traditional commercial buildings line the main street, flanked by two large public areas containing the Christ Church grounds and the War Memorial. The street then curves gently at Heritage Corner towards Cressy, and links Longford to the surrounding rural farmland, creating views to the surrounding countryside and a gateway to the World Heritage listed Woolmers and Brickendon estates. Heritage residential buildings are tucked behind the main street comprising traditional styles from the mid nineteenth century to the early twentieth century, including significant street trees, picket fences and cottage gardens. The rural township feel is complemented by a mix of businesses serving local needs, tourism and historic interpretation. Longford's heritage ambience has been acknowledged, embraced and built on by many of those who live in or visit the town.

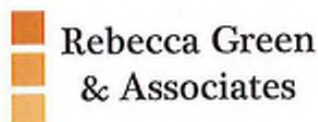
Management Objectives

To ensure that new buildings, additions to existing buildings, and other developments which are within the Heritage Precincts do not adversely impact on the heritage qualities of the streetscape, but contribute positively to the Precinct.

To ensure developments within street reservations in the towns and villages having Heritage Precincts do not to adversely impact on the character of the streetscape but contribute positively to the Heritage Precincts in each settlement.

Comment: The proposal is consistent with the Longford Heritage Precinct Character Statement and satisfies the Management Objectives.

EXHIBITED



ASSESSMENT AGAINST F2.0

(Heritage Precincts Specific Area Plan)

F2.1 Purpose of Specific Area Plan

F2.1.1 In addition to, and consistent with, the purpose of E13.0 Local Historic Heritage Code, the purpose of this Specific Area Plan is to ensure that development makes a positive contribution to the streetscape within the Heritage Precincts.

F2.2 Application of Specific Area Plan

F2.2.1 This Specific Area Plan applies to those areas of land designated as Heritage Precincts on the Planning Scheme maps.

F2.2.2 The following development is exempt from this Specific Area Plan:

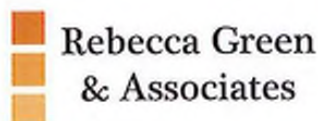
- a) works required to comply with an Emergency Order issued under section 162 of the Building Act 2000;*
- b) electricity, optic fibre and telecommunications cables, and water, sewerage, drainage connections and gas lines to individual buildings;*
- c) maintenance and repairs that do not involve removal, replacement or concealment of any external building fabric;*
- d) repainting of an exterior surface that has been previously painted, in a colour similar to that existing;*
- e) the planting, clearing or modification of vegetation for safety reasons where the work is required for the removal of dead wood, or treatment of disease, or required to remove unacceptable risk to the public or private safety, or where vegetation is causing or threatening to cause damage to a building or structure; and*
- f) the maintenance of gardens, unless there is a specific listing for the garden in Table E13.1 or Table E13.2.*

F2.3 Definitions

F2.3.1 Streetscape

For the purpose of this specific area plan 'streetscape' refers to the street reservation and all design elements within it, and that area of a private property from the street reservation; including the whole of the frontage, front setback, building façade, porch or verandah, roof form, and side fences; and includes the front elevation of a garage, carport or outbuilding visible from the street (refer Figure F2.1 and F2.2).

F2.3.2 Heritage-Listed Building



For the purpose of this Plan 'heritage-listed building' refers to a building listed in Table F2.1 or listed on the Tasmanian Heritage Register.

Comment: Although the subject site is within the Heritage Precincts Specific Area Plan, the proposal will have a positive effect on the streetscape.

F2.5 STANDARDS FOR DEVELOPMENT

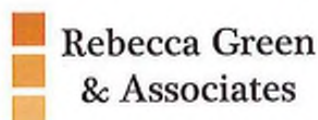
F2.5.1 Setbacks

Objective: To ensure that the predominant front setback of the existing buildings in the streetscape is maintained, and to ensure that the impact of garages and carports on the streetscape is minimised.

Acceptable Solutions & performance criteria

<p>A1 The predominant front setback as identified in the design statement must be maintained for all new buildings, extensions, alterations or additions (refer Figure F2.4 & F2.8).</p>	<p>P1 The front setback must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p> <ul style="list-style-type: none"> a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the topography of the site; c) the size, shape, and orientation of the lot; d) the setbacks of other buildings in the surrounding area; e) the historic cultural heritage significance of adjacent places; and f) the streetscape.
<p>A2 New carports and garages, whether attached or detached, must be set back a minimum of 3 metres behind the line of the front wall of the house which it adjoins (refer Figure F2.3, & F2.7).</p>	<p>P2 The setback of new carports and garages from the line of the front wall of the house which it adjoins must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p> <ul style="list-style-type: none"> a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the topography of the site; c) the size, shape, and orientation of the lot; d) the setbacks of other buildings in the surrounding area;

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	e) the historic cultural heritage significance of adjacent places; and f) the streetscape.
A3 Side setback reductions must be to one boundary only, in order to maintain the appearance of the original streetscape spacing.	P3 Side setbacks must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: <ul style="list-style-type: none"> a) the cultural heritage values of the local heritage place, its setting and the precinct; b) the topography of the site; c) the size, shape, and orientation of the lot; d) the setbacks of other buildings in the surrounding area; e) the historic cultural heritage significance of adjacent places; and f) the streetscape.

Comment: Meets the Acceptable Solution A2. The proposal satisfies the performance criteria P1 and P3.

F2.5.2 Orientation

Objective: To ensure that new buildings, extensions, alterations and additions respect the established predominant orientation within the streetscape.

Acceptable Solutions & performance criteria

A1 All new buildings, extensions, alterations or additions must be orientated:	P1 Orientation of all new buildings, extensions, alteration or additions must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:
a) perpendicular to the street frontage (refer Figure F2.5, F2.6, & F2.8); or	a) the cultural heritage values of the local heritage place, its setting and the precinct;
b) Where the design statement identifies that the predominant orientation of buildings within the street is other than perpendicular to the street, to conform to	b) the topography of the site;
	c) the size, shape, and orientation of the lot;
	d) the setbacks of other buildings in the surrounding area;
	e) the historic cultural heritage significance of adjacent places; and

EXHIBITED



the established pattern in the street; and	f) the streetscape.
c) A new building must not be on an angle to an adjoining heritage-listed building (refer Figure F2.5).	

Comment: Meets the Acceptable Solutions.

F2.5.3 Scale

Objective: To ensure that all new buildings respect the established scale of buildings in the streetscape, adhere to a similar scale, are proportional to their lot size and allow an existing original main building form to dominate when viewed from public spaces.

Acceptable Solutions (no performance criteria)

- | | |
|----|--|
| A1 | Single storey developments must have a maximum height from floor level to eaves of 3 metres (refer Figure F2.14). |
| A2 | Where a second storey is proposed it must be incorporated into the roof space using dormer windows, or roof windows, or gable end windows, so as not to detract from original two storey heritage-listed buildings (refer Figure F2.13 & F2.15). |
| A3 | Ground floor additions located in the area between the rear and front walls of the existing house must not exceed 50% of the floor area of the original main house. |

Comment: Meets the Acceptable Solutions.

F2.5.4 Roof Forms

Objective: To ensure that the roof form and elements respect those of the existing main building and the streetscape.

Acceptable Solutions & performance criteria

- | | | | |
|------|--|----|--|
| A1.1 | The roof form for new buildings, extensions, alterations, and additions must, if visible from the street, be in the form of hip or gable, with a pitch between 25 – 40 degrees (refer Figure F2.14 & F2.18), or match the existing building, and | P1 | The roof form of all new buildings, extensions, alteration or additions must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to: |
| A1.2 | Eaves overhang must be a maximum of 300mm excluding guttering, or match the existing building. | a) | the cultural heritage values of the local heritage place, its setting and the precinct; |
| | | b) | the design, period of construction and materials of the dominant building on site; |

EXHIBITED



	<p>c) the dominant roofing style and materials in the setting; and</p> <p>d) the streetscape.</p>
A2	Where there is a need to use the roof space, dormer windows are acceptable and must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant (refer Figure F2.15).
A3	Where used, chimneys must be in a style that reflects the period setting of the existing main building on the site, or the setting if the site is vacant.
A4	Metal cowls must not be used where they will be seen from the street.

Comment: Meets the Acceptable Solutions.

F2.5.5 Plan Form

Objective: To ensure that new buildings, alterations, additions and extensions respect the setting, original plan form, shape and scale of the existing main building on the site or of adjoining heritage-listed buildings.

Acceptable Solutions	Performance Criteria
<p>A1.1 Alterations and additions to pre-1940 buildings must retain the original plan form of the existing main building; or</p> <p>A1.2 The plan form of additions must be rectilinear or consistent with the existing house design and dimensions.</p>	<p>P1 Original main buildings must remain visually dominant over any additions when viewed from public spaces.</p>
A2 The plan form of new buildings must be rectilinear (refer Figure F2.9).	P2 No performance criteria

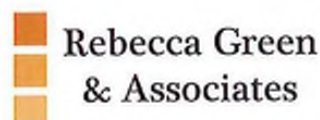
Comment: Meets the Acceptable Solution A2.

F2.5.6 External Walls

Objective: To ensure that wall materials used are compatible with the streetscape.

Acceptable Solutions	Performance Criteria
<p>A1.1 Materials used in additions must match those of the existing construction, except in additions to stone or brick buildings; and</p> <p>A1.2 External walls must be clad in:</p> <p>a) traditional bull-nosed timber weatherboards; if treated pine boards are used to replace damaged weatherboards they must be painted; thin profile compressed board weatherboards must not be used; or</p>	<p>P1 Wall materials must be compatible with the historic cultural heritage significance of a local heritage place or</p>

EXHIBITED



<p>b) brickwork, with mortar of a natural colour and struck flush with the brickwork (must not be deeply raked), including:</p> <ul style="list-style-type: none"> • painted standard size bricks; or • standard size natural clay bricks that blend with the colour and size of the traditional local bricks; or • standard brickwork rendered in traditional style; or • if a heritage-listed building, second-hand traditional local bricks. <p>Heavily-tumbled clinker bricks must not be used; or</p>	<p>precinct, having regard to:</p>
<p>c) concrete blocks specifically chosen to blend with local dressed stone, or rendered and painted;</p>	<p>a) the cultural heritage values of the local heritage place, its setting and the precinct;</p>
<p>d) concrete blocks in natural concrete finish must not be used.</p>	<p>b) the design, period of construction and materials of the dominant building on site;</p>
<p>A1.3 Cladding materials designed to imitate traditional materials such as brick, stone and weatherboards must not be used.</p>	<p>c) the dominant wall materials in the setting; and</p>
	<p>d) the streetscape.</p>

Comment: Meets the Acceptable Solutions.

F2.5.7 Entrances and Doors

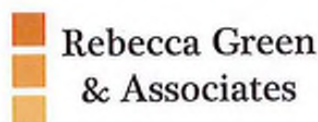
Objective: To ensure that the form and detail of the front entry is consistent with the streetscape.

Acceptable Solutions & performance criteria

<p>A1.1 The position, shape and size of original door and window openings must be retained where they are prominent from public spaces; and</p>	<p>P1 Entrances and doors must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</p>
<p>A1.2 The front entrance location must be in the front wall facing the street, and be located within the central third of the front wall of the house; and</p>	<p>a) the cultural heritage values of the local heritage place, its setting and the precinct;</p>
<p>A1.3 Modern front doors with horizontal glazing or similar styles must not be used (refer Figure F2.21).</p>	<p>b) the design, period of construction and materials of the dominant building on site; and</p>
	<p>c) the streetscape.</p>

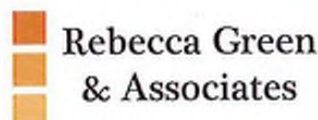
Comment: Meets the Acceptable Solutions.

EXHIBITED



F2.5.8 Windows

<i>Objective: To ensure that window form and details are consistent with the streetscape.</i>	
Acceptable Solutions & performance criteria	
A1 Window heads must be a minimum of 300mm below the eaves line, or match the existing.	
Solid-void ratio	
A2 Front façade windows must conform to the solid/void ratio (refer Figure F2.24 & F2.25).	P2 For commercial buildings, the solid/void ratio of front façade windows must be compatible with that of heritage-listed commercial buildings in the precinct.
Window sashes	
A3 Window sashes must be double hung, casement, awning or fixed appropriate to the period and style of the building (refer Figure F2.22 & F2.23).	
A4 Traditional style multi-pane sashes, when used, must conform to the traditional pattern of six or eight vertical panes per sash with traditional size and profile glazing bars.	
A5 Horizontally sliding sashes must not be used.	
A6 Corner windows to front facades must not be used.	
Window Construction Materials	
A7 Clear glass must be used.	
A8 Reflective and tinted glass and coatings must not be used where visible from public places.	
A9 Additions to heritage-listed buildings must have timber window frames, where visible from public spaces.	
A10 Painted aluminium must only be used where it cannot be seen from the street and in new buildings, or where used in existing buildings	P10 Window frames must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to the cultural heritage values of the local heritage place, its setting and the precinct.
A11 Glazing bars must be of a size and profile appropriate for the period of the building	
A12 Stick-on aluminium glazing-bars must not be used	
A13 All windows in brick or masonry buildings must have projecting brick or stone sills, or match the existing.	



<i>French Doors, Bay Windows and Glass Panelling</i>
A14 <i>French doors and bay windows must be appropriate for the original building style and must be of a design reflected in buildings of a similar period.</i>
A15 <i>Where two bay windows are required, they must be symmetrically placed.</i>
A16 <i>Large areas of glass panelling must:</i> a) <i>Be divided by large vertical mullions to suggest a vertical orientation; and</i> b) <i>Be necessary to enhance the utility of the property or protect the historic fabric; and</i> c) <i>Not detract from the historic values of the original building.</i>

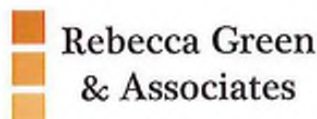
Comment: Meets the Acceptable Solutions.

F2.5.9 Roof Covering

Objective: <i>To ensure that roof materials are compatible with the streetscape.</i>
Acceptable Solutions (no performance criteria)
A1.1 <i>Roofing of additions, alterations and extensions must match that of the existing building; and</i>
A1.2 <i>Roof coverings must be:</i> a) <i>corrugated iron sheeting in grey tones, brown tones, dark red, or galvanized iron</i> <i>or</i> b) <i>slate or modern equivalents, shingle and low-profile tiles, where compatible with the style and period of the main building on the site and the setting. Tile colours must be:</i> <ul style="list-style-type: none"> • <i>dark grey; or</i> • <i>light grey; or</i> • <i>brown tones; or</i> • <i>dark red;</i> <i>or</i> c) <i>traditional metal tray tiles where compatible with the style and period of the main building on the site.</i> d) <i>for additions, alterations and extensions, match that of the existing building.</i>
A2 <i>Must not be klip-lock steel deck and similar high rib tray sheeting.</i>

Comment: Meets the Acceptable Solutions with appropriate conditions in relation to colour scheme.

EXHIBITED

**F2.5.10 Roof Plumbing**

<i>Objective: To ensure that roof plumbing and fittings are compatible with the streetscape.</i>
Acceptable Solutions (no performance criteria)
A1.1 Gutters must be OG, D mould, or Half Round profiles (refer Figure F2.26), or match the existing guttering; and
A1.2 Downpipes must be zincalume natural, colorbond round, or PVC round painted.
A2 Downpipes must not be square-line gutter profile or rectangular downpipes (refer Figure F2.27), or match the existing downpipes.

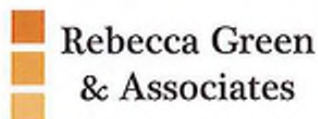
Comment: Meets the Acceptable Solutions.

F2.5.11 Verandahs

<i>Objective: To ensure that traditional forms of sun and weather protection are used, consistent with the streetscape.</i>	
Acceptable Solutions & performance criteria	
Original Verandahs	
A1 Original verandahs must be retained.	
Replacement of Missing Verandahs	
A2.1 The replacement of a missing verandah must be consistent with the form and detail of the original verandah; or	P2 Verandahs must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:
A2.2 If details of the original verandah are not available:	a) the cultural heritage values of the local heritage place, its setting and the precinct;
a) The verandah roof must join the wall line below the eaves line of the building (refer Figure F2.19); and	b) the design, period of construction and materials of the dominant building on site; and
b) Verandah posts and roof profile must be consistent with that in use by the surrounding buildings of a similar period.	c) the streetscape.
New Verandahs	
A3 A new verandah, where one has not previously existed, must be consistent with the design and period of construction of the dominant existing building on the site or, for vacant sites, those of the dominant design and period within the precinct.	

Comment: Not applicable.

EXHIBITED

**F2.5.12 Architectural Details**

Objective: To ensure that the architectural details are consistent with the historic period and style of the main building on the site, and the streetscape.

Acceptable Solutions (no performance criteria)**Original Detailing**

A1 *Original details and ornaments, such as architraves, fascia's and mouldings, are an essential part of the building's character and must not be removed beyond the extent of any alteration, addition or extension.*

Non-original Detailing

A2.1 *Non-original elements must be consistent with the original architectural style of the dominant existing building on the site or, for vacant sites, be consistent with the existing streetscape; and*

A2.1 *Non-original elements must not detract from or dominate the original qualities of the building, nor should they suggest a past use which is not historically accurate.*

Comment: Not applicable.

F2.5.13 Outbuildings

Objective: To ensure that outbuildings do not reduce the dominance of the original building or distract from its period character.

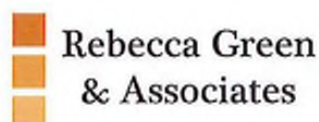
Acceptable Solutions & performance criteria

A1 *The roof form of outbuildings must, if visible from the street, be in the form of hip or gable, with a maximum span of 6.5m and a pitch between 22.5 – 40 degrees.*

P1 *The roof form of outbuildings, if visible from the street, must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:*

- a) the cultural heritage values of the local heritage place, its setting and the precinct;*
- b) the design, period of construction and materials of the dominant building on site;*
- c) the dominant roofing style and materials in the setting; and*
- d) the streetscape.*

EXHIBITED



A2	<i>Outbuildings must be designed, in both scale and appearance, to be subservient to the primary buildings on the site.</i>
A3	<i>Outbuildings must not be located in front of existing heritage-listed buildings, and must be setback a minimum of 3 metres behind the line of the front wall of the house that is set furthest back from the street (refer Figure F2.1 & F2.3).</i>
A4	<i>Any garage, including those conjoined to the main building, must be designed in the form of an outbuilding, with an independent roof form.</i>
A5	<i>Those parts of Outbuildings visible from the street must be consistent, in both materials and style, with those of any existing heritage-listed building on-site.</i>
A6	<i>Where visible from the street, the eaves height of outbuildings must not exceed 3m and the roof form and pitch must be the same as that of the main house.</i>

Comment: Not applicable.

F2.5.14 Conservatories

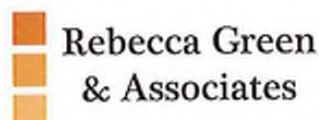
<i>Objective: To ensure new conservatories respect traditional location, form and construction.</i>	
Acceptable Solutions (no performance criteria)	
A1	<i>Conservatories must not be located at the front of a building.</i>
A2	<i>The scale, form, materials, and colours of a conservatory addition must respect the established style and period of the existing building.</i>

Comment: Not applicable.

F2.5.15 Fences and Gates

<i>Objective: To ensure that original fences are retained and restored where possible and that the design and materials of any replacement complement the setting and the architectural style of the main building on the site.</i>	
Acceptable Solutions & performance criteria	
A1.1 <i>Replacement of front fence must be in the same design, materials and scale; or</i>	P1 <i>Fences must be compatible with the historic cultural heritage significance of a local heritage place or precinct, having regard to:</i>
A1.2	
a) <i>Front fence must be a timber vertical picket, masonry to match the house, heritage style woven wire, galvanized tubular fencing, other than looped, or iron palisade fence with a maximum height of 1500mm.</i>	a) <i>the cultural heritage values of the local heritage place, its setting and the precinct;</i>
	b) <i>the architectural style of the dominant building on the site;</i>

EXHIBITED



b) Side and rear fences must be vertical timber palings to a maximum height of 1800mm.	c) the dominant fencing style in the setting; and d) the original or previous fences on the site.
A2 Gates must match the fence, both in materials and design.	
A3 Screen fences used to separate the front garden from the rear of the house must be of timber or lattice.	
A4 Fences must not be: a) horizontal or diagonal timber slat fences; or b) plastic covered wire mesh; or c) flat metal sheet or corrugated sheets; or d) plywood and cement sheet.	

Comment: Meets the Acceptable Solutions.

F2.5.16 Paint Colours

Objective: To ensure that new colour schemes maintain a sense of harmony with the street or area in which they are located.

Acceptable Solutions & performance criteria

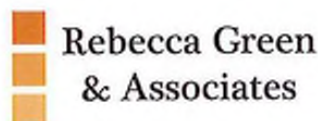
A1.1 Colour schemes must be drawn from heritage-listed buildings within the precinct; or A1.2 Colour schemes must be drawn from the following: a) Walls – Off white, creams, beige, tans, fawn and ochre. b) Window & Door frames – white, off white, Indian red, light browns, tans, olive green and deep Brunswick green. c) Fascia & Barge Boards - white, off white Indian red, light browns, tans, olive green and deep Brunswick green d) Roof & Gutters – deep Indian red, light and dark grey.	P1 Colour schemes must be compatible with the local historic heritage significance of the local heritage place or precinct having regard to the character and appearance of the existing place or precinct.
A2 There must be a contrast between the wall colour and trim colours.	
A3 Previously unpainted brickwork must not be painted, except in the case of post-1960 buildings.	

Comment: Meets the Performance Criteria.

F2.5.17 Lighting

Objective: To ensure that modern domestic equipment and wiring do not intrude on the character of the streetscape

Acceptable Solutions (no performance criteria)



A1 Wiring or conduit to new lighting is not located on the front face of a building.

Comment: Meets the Acceptable Solutions.

F2.5.18 Maintenance and Repair

Objective: To ensure that maintenance and repair of buildings is undertaken to be sympathetic to, and not detract from the historic cultural heritage significance of heritage precincts.

Acceptable Solution (no performance criteria)

New materials and finishes used in the maintenance and repair of buildings match the materials and finishes that are being replaced.

Comment: Not applicable.

F2.6 USE STANDARDS

F2.6.1 Alternative Use of heritage buildings

Objective: To ensure that the use of heritage buildings provides for their conservation.

Acceptable Solutions	Performance Criteria
A1 No acceptable solution.	<p>P1 Notwithstanding Clause 8.9, a permit may be granted for any use of a building listed in table F2.1 where:</p> <p>a) it can be demonstrated that the proposed use will not adversely impact on the significance of a heritage place; and</p> <p>b) the amenity impacts of both the proposed use on the surrounding areas and from the surrounding area on the proposed use are considered acceptable; and</p> <p>c) a report by heritage professional states that it is necessary for conservation purposes or the continued maintenance of the building or where there is an overriding public benefit.</p>

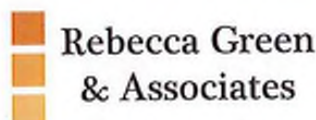
Comment: Not applicable.

E15.0 Signs Code

E15.5.2 Heritage Precincts

Objective: To ensure that the design and siting of signs complement or enhance the streetscape of Heritage Precincts.

EXHIBITED



<i>Acceptable Solutions</i>	<i>Performance Criteria</i>
A1 No acceptable solution	P1 If within the Heritage Precincts Specific Area Plan, shall be consistent with the Character Statements.

Comment: Not applicable.

4.3.1 State Coastal Policy 1996

The State Coastal Policy was created under the *State Policies and Projects Act 1993*. This Policy applies to the Coastal Zone, which is defined as the area within State waters and all areas within one kilometre of the coast.

Proposal Response

The subject site is located further than one kilometre from the coast, and the State Coastal Policy does not apply to the land.

4.3.2 State Policy on Water Quality Management 1997

This Policy applies to all surface waters, including coastal waters, and ground waters, other than:

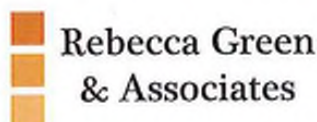
- i. Privately owned waters that are not accessible to the public and are not connected to, or flow directly into, waters that are accessible to the public; or
- ii. Waters in any tank, pipe or cistern.

The purpose of the Policy is to achieve the sustainable management of Tasmania's surface water and groundwater resources by protecting or enhancing their qualities while allowing for sustainable development in accordance with the objectives of Tasmania's Resource Management and Planning System (Schedule 1 of the *State Policies and Projects Act 1993*).

The objectives of this Policy are to:

1. Focus water quality management on the achievement of water quality objectives which will maintain or enhance water quality and further the objectives of Tasmania's Resource Management and Planning System;
2. Ensure that diffuse source and point source pollution does not prejudice the achievement of water quality objectives and that pollutants discharged to waterways are reduced as far as is reasonable and practical by the use of best practice environmental management;
3. Ensure that efficient and effective water quality monitoring programs are carried out and that the responsibility for monitoring is shared by those who use and benefit from the resource, including polluters, who should bear an appropriate share of the costs arising from their activities, water resource managers and the community;

EXHIBITED



4. *Facilitate and promote integrated catchment management through the achievement of objectives (1) to (3) above; and*
5. *Apply the precautionary principle to Part 4 of this Policy.*

Proposal Response

The proposal involves collection and discharge of stormwater via Council's stormwater collection network. The objectives of this Policy will therefore be managed in this urban environment.

The proposal is consistent with the policy.

4.3.3 State Policy on Protection of Agricultural Land 2009

The subject site is within the urban area of Longford and therefore is not considered to have any agricultural value.

4.3 Land Use Planning and Approvals Act 1993

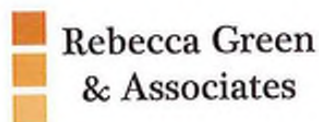
The *Land Use Planning and Approvals Act 1993* provides objectives for all development considered under this Act. The proposal has been considered against the objectives of this Act. The proposal has been prepared to be consistent with the provisions of the *Northern Midlands Interim Planning Scheme 2013*. The proposal is therefore considered to be consistent with the objectives of the Act.

4.4 National Environment Protection Measures

A series of National Environment Protection Measures (NEPMs) have been established by the National Environment Protection Council. These measures are:

- Ambient air quality;
- National pollutant inventory;
- Movement of controlled waste;
- Use packaging materials;
- Assessment of site contamination; and

EXHIBITED



- Diesel vehicle emissions.

Proposal Response

It is considered that the NEPMs are not relevant to the proposed development.

5. Conclusion

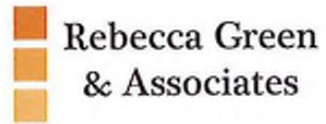
The approval sought is for the use and development of 21 multiple dwellings at 47 Marlborough Street, Longford, and is illustrated in a plan of subdivision, provided at Appendix B.

The proposal complies with the development standards prescribed by the Scheme and can be approved under the *Northern Midlands Interim Planning Scheme 2013*. This application is therefore made due to the use and development standards pursuant to Section 57 of the *Land Use Planning and Approvals Act 1993*.

The proposal is consistent with the relevant State and local policies, Planning Scheme objectives and considerations and objectives of the *Land Use Planning and Approvals Act 1993*. It is therefore recommended that the proposal be considered for planning approval.

Author	Version	Date
Rebecca Green	1	13 July 2021

EXHIBITED



Appendix A: Certificate of Title

EXHIBITED



RESULT OF SEARCH

RECORDER OF TITLES

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SEARCH OF TORRENS TITLE

VOLUME 176679	FOLIO 3
EDITION 1	DATE OF ISSUE 22-Mar-2019

SEARCH DATE : 25-Mar-2021

SEARCH TIME : 01.34 PM

DESCRIPTION OF LAND

Town of LONGFORD

Lot 3 on Sealed Plan 176679

Derivation : Part of 2A-3R-12P Gtd. to F. J. Houghton and Part

of Lot 1, 3 Acres (Sec. R) Gtd. to William Mason

Prior CTs 112214/2, 112214/3 and 145630/2

SCHEDULE 1

M713226 & M737016 TRANSFER to JAFFA INTERNATIONAL PTY LTD
Registered 12-Feb-2019 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP176679 EASEMENTS in Schedule of Easements

SP176679 FENCING PROVISION in Schedule of Easements

E164025 MORTGAGE to Commonwealth Bank of Australia

Registered 12-Feb-2019 at 12.01 PM

E173320 INSTRUMENT Creating Restrictive Covenants (affecting

the land formerly comprised in folio of the Register

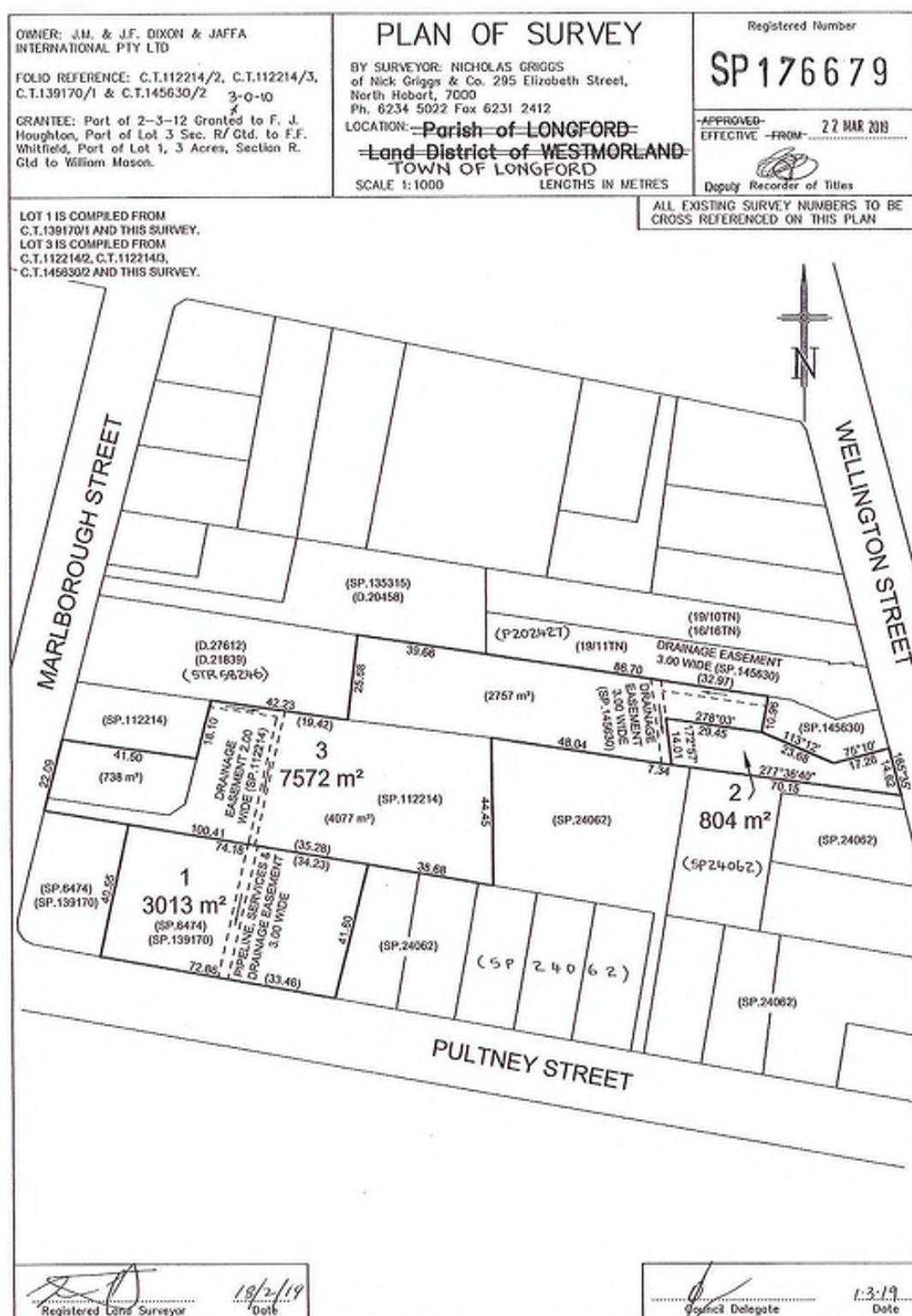
Volume 112214 Folio 3) Registered 22-Mar-2019 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

EXHIBITED

Page 1 of 1



EXHIBITED



SCHEDULE OF EASEMENTS

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SCHEDULE OF EASEMENTS NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	Registered Number SP 176679
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PAGE 1 OF 6 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 1: is subject to (appurtenant to Northern Midlands Council) a Right of Drainage (as defined herein) over the area marked "PIPELINE, SERVICES & DRAINAGE EASEMENT 3.00 WIDE" as shown on the Plan.

Lot 1 ("Lot"): is subject to a Pipeline and Services Easement (as defined herein) in gross in favour of the Tasmanian Water and Sewerage Corporation Pty Limited, its successors and assigns ("TasWater") over the area marked "PIPELINE, SERVICES & DRAINAGE EASEMENT 3.00 WIDE" as shown on the Plan ("the Easement Land").

Lot 3: is subject to (appurtenant to Northern Midlands Council) a Right of Drainage (as defined herein) over the area marked "DRAINAGE EASEMENT 3.00 WIDE" as shown on the Plan.

Lot 3: is subject to (appurtenant to lot 1 on SP145630) a right of drainage over the area marked "Drainage Easement 3.00 Wide AC" on SP145630.

Lot 3: is subject to (appurtenant to Northern Midlands Council) a Right of Drainage (as defined herein) over the area marked "DRAINAGE EASEMENT 2.00 WIDE" as shown on the Plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: John Maurice Dixon, Jillian Fay Dixon & Jaffa International Pty Ltd FOLIO REF: 112214/2, 112214/3, 139170/1 & 145630/2 SOLICITOR & REFERENCE: BW183038: Butler McIntyre and Butler	PLAN SEALED BY NORTHERN MIDLANDS COUNCIL DATE: 13.2.2019 REF NO. _____ Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	

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SUBDIVIDER: John Maurice Dixon, Jillian Fay Dixon & Jaffa International Pty Ltd FOLIO REFERENCE: 112214/2, 112214/3, 139170/1 & 145630/2	

~~Lot 2: is together with a right of drainage over the strip of land marked "Drainage Easement" passing through lot 1 on SP112214.~~

FENCING PROVISION

In respect of the Lots shown on the Plan the Vendor (John Maurice Dixon, Jillian Fay Dixon and Jaffa International Pty Ltd) shall not be required to fence.

INTERPRETATION

"Pipeline and Services Easement" means:-

THE FULL RIGHT AND LIBERTY for TasWater at all times to:

- (1) enter and remain upon the Easement Land with or without employees, contractors, agents and all other persons duly authorised by it and with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse and repair the Infrastructure;
- (4) remove and replace the Infrastructure;
- (5) run and pass sewage, water and electricity through and along the Infrastructure;
- (6) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition; and
- (7) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and all other persons authorised by it, and with or without machinery, vehicles, plant and equipment enter the Lots from the highway at any then existing vehicle entry and cross the Lots to the Easement Land; and

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

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<p align="center">ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p align="center">PAGE 3 OF 6 PAGES</p>	<p align="center">Registered Number</p> <p align="center">SP 176679</p>
<p>SUBDIVIDER: John Maurice Dixon, Jillian Fay Dixon & Jaffa International Pty Ltd</p> <p>FOLIO REFERENCE: 112214/2, 112214/3, 139170/1 & 145630/2</p>	

- (8) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lots.

PROVIDED ALWAYS THAT:

- (1) The registered proprietors of the Lots in the folio of the Register ("the Owner") must not without the written consent of TasWater first had and obtained and only in compliance with any conditions which form the consent:
- (a) alter, excavate, plough, drill or otherwise penetrate the ground level of the Easement Land;
 - (b) install, erect or plant any building, structure, fence, pit, well, footing, pipeline, paving, tree, shrub or other object on or in the Easement Land;
 - (c) remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land;
 - (d) do any thing which will or might damage or contribute to damage to any of the Infrastructure on or in the Easement Land;
 - (e) in any way prevent or interfere with the proper exercise and benefit of the Easement Land by TasWater or its employees, contractors, agents and all other persons duly authorised by it; or
 - (f) permit or allow any action which the Owner must not do or acquiesce in that action.
- (2) TasWater is not required to fence any part of the Easement Land.
- (3) The Owner may erect a fence across the Easement Land at the boundaries of the Lots.
- (4) The Owner may erect a gate across any part of the Easement Land subject to these conditions:
- (a) the Owner must provide TasWater with a key to any lock which would prevent the opening of the gate; and
 - (b) if the Owner does not provide TasWater with that key or the key provided does not fit the lock, TasWater may cut the lock from the gate.
- (5) If the Owner causes damage to any of the Infrastructure, the Owner is liable for the actual cost to TasWater of the repair of the Infrastructure damaged.

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(6) If the Owner fails to comply with any of the preceding conditions, without forfeiting any right of action, damages or otherwise against the Owner, TasWater may:

- (a) reinstate the ground level of the Easement Land; or
- (b) remove from the Easement Land any building, structure, pit, well, footing, pipeline, paving, tree, shrub or other object; or
- (c) replace any thing that supported, protected or covered the Infrastructure.

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) power poles and lines, electrical wires, electrical cables and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land, the Infrastructure or any warnings or restrictions with respect to the Easement Land or the Infrastructure;
- (f) any thing reasonably required to support, protect or cover any of the Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

"Right of Drainage" means a right of drainage (including the right of construction of drains) for every person who is at any time entitled to an estate or interest in possession in the land herein indicated as the dominant tenement or any part thereof with which the right shall be capable of enjoyment for the purpose of carrying away storm water and other surplus water from the dominant tenement or any such part thereof over or under the land herein indicated as the land over which the right is to subsist, and through all sewers and drains which may hereafter be made or passing under, through, and along the last-mentioned land and the right for every such person and his surveyors and workmen from time to time and at all times hereafter if he or they should think fit to enter into and upon the last-mentioned

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land and to inspect, repair, cleanse, and amend any such sewer or drain, ~~the person exercising such right, causing as little damage and inconvenience as reasonably practicable in doing so and making good immediately any damaged caused to the servient land.~~ without doing unnecessary damage to the said land.

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SIGNED by John Maurice Dixon in the presence of:

John Maurice Dixon

Witness Signature:

Witness Full Name: Kathryn Layton Walker

Witness Address: PO BOX 855
LAUNCESTON TAS 7250

SIGNED by Jillian Fay Dixon in the presence of:

Jillian Fay Dixon

Witness Signature:

Witness Full Name: Kathryn Layton Walker

Witness Address: PO BOX 855
LAUNCESTON TAS 7250

EXECUTED Jaffa International Pty Ltd ACN 608 288 160
pursuant to s127 of the Corporations Act, by signing by
its sole director and sole company secretary

Carlton Patrick Dixon
Sole director/secretary

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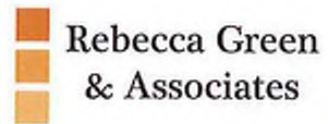
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Appendix B: Plans

AREI Designs

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PRELIMINARY ISSUE
REVISIONG

PROPOSED UNIT DEVELOPMENT FOR

ABODE DESIGNER HOMES

55


47 MARLBOROUGH STREET LONGFORD
TAS 7301

SHEET LIST					
SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE	SHEET NO.	SHEET TITLE
01	COVER	32-01	3D VIEWS (UNIT TYPE B2)		
02	STAIR PLAN	32-03	ELEVATIONS (UNIT TYPE B2)		
03	PRIVATE OPEN SPACE PLAN	C1-01	FLOOR PLAN - UNIT TYPE C1		
04	LANDSCAPING PLAN	C1-02	3D VIEWS (UNIT TYPE C1)		
05	STAGED DEVELOPMENT PLAN	C1-03	ELEVATIONS (UNIT TYPE C1)		
A1-01	FLOOR PLAN - UNIT TYPE A1	C2-01	FLOOR PLAN - UNIT TYPE C2		
A1-02	3D VIEWS (UNIT TYPE A1)	C2-02	3D VIEWS (UNIT TYPE C2)		
A2-03	ELEVATIONS (UNIT TYPE A2)	C2-03	ELEVATIONS (UNIT TYPE C2)		
A2-01	FLOOR PLAN - UNIT TYPE A2	D1-01	FLOOR PLAN - UNIT TYPE D1		
A2-02	3D VIEWS (UNIT TYPE A2)	D1-02	3D VIEWS (UNIT TYPE D1)		
A3-01	ELEVATIONS (UNIT TYPE A3)	D1-03	ELEVATIONS (UNIT TYPE D1)		
B1-01	FLOOR PLAN - UNIT TYPE B1	F1-01	FLOOR PLAN - UNIT TYPE F1		
B1-02	3D VIEWS (UNIT TYPE B1)	F1-02	3D VIEWS (UNIT TYPE F1)		
B1-03	ELEVATIONS (UNIT TYPE B1)	F1-03	ELEVATIONS (UNIT TYPE F1)		
B2-01	FLOOR PLAN - UNIT TYPE B2				

<p>GENERAL NOTES:</p> <p>1. ALL DESIGN CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH:</p>	<p>SITE WORKS NOTES:</p> <p>2. POSITION OF DWELLING TO BE CONFINED BY:</p>	<p>PATH/DRIVEWAY NOTES:</p> <p>1. DRIVEWAY SLOPE NOT TO EXCEED 3:4 CHECK</p>	<p>SECTION NOTES:</p> <p>1. TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT</p>
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OVERLAYS:	URBAN GROWTH BOUNDARIES
1. PRELIMINARY DESIGN TO TRUSSES	1. PRELIMINARY DESIGN TO TRUSSES
2. ALL PNE TO BE 204 MM	2. ALL PNE TO BE 204 MM
3. GROUND LINE SHOWN DOES NOT RELATE TO	3. GROUND LINE SHOWN DOES NOT RELATE TO
4. ACTUAL SLOPE OF SITE	4. ACTUAL SLOPE OF SITE
5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY	5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY
6. SECTIONS ARE INTENDED TO BE A VISUAL AID	6. SECTIONS ARE INTENDED TO BE A VISUAL AID
7. PRESCRIPTIVE BUT	7. PRESCRIPTIVE BUT
8. INDICATE ONLY THE MINIMUM TO BE	8. INDICATE ONLY THE MINIMUM TO BE
9. CONSTRUCTION FINISHES AND RESULTS.	9. CONSTRUCTION FINISHES AND RESULTS.
10. FOUNDATIONS AND FINISHES:	10. FOUNDATIONS AND FINISHES:
11. 1. GROUND LINE OR SLOPE OF SITE IS NOT	11. 1. GROUND LINE OR SLOPE OF SITE IS NOT
12. REPRESENTED ON 3D OF VIEWS	12. REPRESENTED ON 3D OF VIEWS
13. FURNITURE AND FIXTURES ARE INDICATIVE	13. FURNITURE AND FIXTURES ARE INDICATIVE
14. TO COMPLEMENTATION OF CONSTRUCTION	14. TO COMPLEMENTATION OF CONSTRUCTION
15. PATTERNS AND METHODS OF SITE BUILDING	15. PATTERNS AND METHODS OF SITE BUILDING
16. 1. PRELIMINARY DESIGN TO TRUSSES	16. 1. PRELIMINARY DESIGN TO TRUSSES
17. 2. ALL PNE TO BE 204 MM	17. 2. ALL PNE TO BE 204 MM
18. 3. GROUND LINE SHOWN DOES NOT RELATE TO	18. 3. GROUND LINE SHOWN DOES NOT RELATE TO
19. 4. ACTUAL SLOPE OF SITE	19. 4. ACTUAL SLOPE OF SITE
20. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY	20. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY
21. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID	21. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID
22. 7. PRESCRIPTIVE BUT	22. 7. PRESCRIPTIVE BUT
23. 8. INDICATE ONLY THE MINIMUM TO BE	23. 8. INDICATE ONLY THE MINIMUM TO BE
24. 9. CONSTRUCTION FINISHES AND RESULTS.	24. 9. CONSTRUCTION FINISHES AND RESULTS.
25. 10. FOUNDATIONS AND FINISHES:	25. 10. FOUNDATIONS AND FINISHES:
26. 11. 1. GROUND LINE OR SLOPE OF SITE IS NOT	26. 11. 1. GROUND LINE OR SLOPE OF SITE IS NOT
27. 12. REPRESENTED ON 3D OF VIEWS	27. 12. REPRESENTED ON 3D OF VIEWS
28. 13. FURNITURE AND FIXTURES ARE INDICATIVE	28. 13. FURNITURE AND FIXTURES ARE INDICATIVE
29. 14. TO COMPLEMENTATION OF CONSTRUCTION	29. 14. TO COMPLEMENTATION OF CONSTRUCTION
30. 15. PATTERNS AND METHODS OF SITE BUILDING	30. 15. PATTERNS AND METHODS OF SITE BUILDING
31. 16. 1. PRELIMINARY DESIGN TO TRUSSES	31. 16. 1. PRELIMINARY DESIGN TO TRUSSES
32. 17. 2. ALL PNE TO BE 204 MM	32. 17. 2. ALL PNE TO BE 204 MM
33. 18. 3. GROUND LINE SHOWN DOES NOT RELATE TO	33. 18. 3. GROUND LINE SHOWN DOES NOT RELATE TO
34. 19. 4. ACTUAL SLOPE OF SITE	34. 19. 4. ACTUAL SLOPE OF SITE
35. 20. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY	35. 20. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY
36. 21. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID	36. 21. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID
37. 22. 7. PRESCRIPTIVE BUT	37. 22. 7. PRESCRIPTIVE BUT
38. 23. 8. INDICATE ONLY THE MINIMUM TO BE	38. 23. 8. INDICATE ONLY THE MINIMUM TO BE
39. 24. 9. CONSTRUCTION FINISHES AND RESULTS.	39. 24. 9. CONSTRUCTION FINISHES AND RESULTS.
40. 25. 10. FOUNDATIONS AND FINISHES:	40. 25. 10. FOUNDATIONS AND FINISHES:
41. 26. 11. 1. GROUND LINE OR SLOPE OF SITE IS NOT	41. 26. 11. 1. GROUND LINE OR SLOPE OF SITE IS NOT
42. 27. 12. REPRESENTED ON 3D OF VIEWS	42. 27. 12. REPRESENTED ON 3D OF VIEWS
43. 28. 13. FURNITURE AND FIXTURES ARE INDICATIVE	43. 28. 13. FURNITURE AND FIXTURES ARE INDICATIVE
44. 29. 14. TO COMPLEMENTATION OF CONSTRUCTION	44. 29. 14. TO COMPLEMENTATION OF CONSTRUCTION
45. 30. 15. PATTERNS AND METHODS OF SITE BUILDING	45. 30. 15. PATTERNS AND METHODS OF SITE BUILDING
46. 31. 16. 1. PRELIMINARY DESIGN TO TRUSSES	46. 31. 16. 1. PRELIMINARY DESIGN TO TRUSSES
47. 32. 17. 2. ALL PNE TO BE 204 MM	47. 32. 17. 2. ALL PNE TO BE 204 MM
48. 33. 18. 3. GROUND LINE SHOWN DOES NOT RELATE TO	48. 33. 18. 3. GROUND LINE SHOWN DOES NOT RELATE TO
49. 34. 19. 4. ACTUAL SLOPE OF SITE	49. 34. 19. 4. ACTUAL SLOPE OF SITE
50. 35. 20. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY	50. 35. 20. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY
51. 36. 21. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID	51. 36. 21. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID
52. 37. 22. 7. PRESCRIPTIVE BUT	52. 37. 22. 7. PRESCRIPTIVE BUT
53. 38. 23. 8. INDICATE ONLY THE MINIMUM TO BE	53. 38. 23. 8. INDICATE ONLY THE MINIMUM TO BE
54. 39. 24. 9. CONSTRUCTION FINISHES AND RESULTS.	54. 39. 24. 9. CONSTRUCTION FINISHES AND RESULTS.
55. 40. 25. 10. FOUNDATIONS AND FINISHES:	55. 40. 25. 10. FOUNDATIONS AND FINISHES:
56. 41. 26. 11. 1. GROUND LINE OR SLOPE OF SITE IS NOT	56. 41. 26. 11. 1. GROUND LINE OR SLOPE OF SITE IS NOT
57. 42. 27. 12. REPRESENTED ON 3D OF VIEWS	57. 42. 27. 12. REPRESENTED ON 3D OF VIEWS
58. 43. 28. 13. FURNITURE AND FIXTURES ARE INDICATIVE	58. 43. 28. 13. FURNITURE AND FIXTURES ARE INDICATIVE
59. 44. 29. 14. TO COMPLEMENTATION OF CONSTRUCTION	59. 44. 29. 14. TO COMPLEMENTATION OF CONSTRUCTION
60. 45. 30. 15. PATTERNS AND METHODS OF SITE BUILDING	60. 45. 30. 15. PATTERNS AND METHODS OF SITE BUILDING
61. 46. 31. 16. 1. PRELIMINARY DESIGN TO TRUSSES	61. 46. 31. 16. 1. PRELIMINARY DESIGN TO TRUSSES
62. 47. 32. 17. 2. ALL PNE TO BE 204 MM	62. 47. 32. 17. 2. ALL PNE TO BE 204 MM
63. 48. 33. 18. 3. GROUND LINE SHOWN DOES NOT RELATE TO	63. 48. 33. 18. 3. GROUND LINE SHOWN DOES NOT RELATE TO
64. 49. 34. 19. 4. ACTUAL SLOPE OF SITE	64. 49. 34. 19. 4. ACTUAL SLOPE OF SITE
65. 50. 35. 20. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY	65. 50. 35. 20. 5. FURNITURE AND FIXTURES ARE INDICATIVE ONLY
66. 51. 36. 21. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID	66. 51. 36. 21. 6. SECTIONS ARE INTENDED TO BE A VISUAL AID
67. 52. 37. 22. 7. PRESCRIPTIVE BUT	67. 52. 37. 22. 7. PRESCRIPTIVE BUT
68. 53. 38. 23. 8. INDICATE ONLY THE MINIMUM TO BE	68. 53. 38. 23. 8. INDICATE ONLY THE MINIMUM TO BE
69. 54. 39. 24. 9. CONSTRUCTION FINISHES AND RESULTS.	69. 54. 39. 24. 9. CONSTRUCTION FINISHES AND RESULTS.
70. 55. 40. 25. 10. FOUNDATIONS AND FINISHES:	70. 55. 40. 25. 10. FOUNDATIONS AND FINISHES:
71. 56. 41. 26. 11. 1. GROUND LINE OR SLOPE OF SITE IS NOT	71. 56. 41. 26. 11. 1. GROUND LINE OR S

DRAWINGS AND SPECIFICATIONS RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY CONFORMANCE BY INSPECTION OF FOOTING EXCAVATIONS.	1. SHOCK ALARMS TO BE INSTALLED IN SEWER HOUSE CONNECTION LOCATION. PLUMBERS TO VERIFY TO COMMENCEMENT PRIOR TO SETTING OUT FUTURE DRAINAGE POINTS. NON-ADHESIVE OR SPECIAL FIXTURES HAVE BEEN NOMINATED.	3. POINTS ON ADHESIVE OR SPECIAL FIXTURES UNDER DRAINAGE NETWORK ARE LOCATED ARE TO ENSURE ADEQUATE CONTACT ON TRENCH BACKFILL. ACHIEVED TO SUPPORT CONCRETE.	4. REAR GARAGE DOOR/6.6 SLIDING GLASS DOORS TO BE SECURED TO BE OPENED. 1300mm x 1300mm LOCATIONS SHOWN.	5. DIRECTIONS TO MAIN/UP SPEC. OR BUILDERS.	6. MINIMUM COVER TO GROUND - 150mm	7. WATERPROOF MEMBRANE TO BE 300mm GRADE FINISHED GROUND SURFACE TO DIVERSITY POLYETHYLENE JOINTS ARE TO BE LAPPED 300mm	8. WATERPROOF JOINTS ARE TO BE LAPPED 300mm	9. WATERPROOF JOINTS ARE TO BE LAPPED 300mm	10. WATERPROOF JOINTS ARE TO BE LAPPED 300mm	11. ALL CONCRETE IS TO BE MECHANICALLY VIBRATED CURING TO BE 100%.	12. CONCRETE JOINTS AND UNDER SLEEPS IS TO BE COMPLETED TO MATCH.	13. FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE.	14. FLOOR WASTE.	15. FLOOR WASTE.	16. FLOOR WASTE.	17. FLOOR WASTE.	18. FLOOR WASTE.	19. FLOOR WASTE.	20. FLOOR WASTE.	21. FLOOR WASTE.	22. FLOOR WASTE.	23. FLOOR WASTE.	24. FLOOR WASTE.	25. FLOOR WASTE.	26. FLOOR WASTE.	27. FLOOR WASTE.	28. FLOOR WASTE.	29. FLOOR WASTE.	30. FLOOR WASTE.	31. FLOOR WASTE.	32. FLOOR WASTE.	33. FLOOR WASTE.	34. FLOOR WASTE.	35. FLOOR WASTE.	36. FLOOR WASTE.	37. FLOOR WASTE.	38. FLOOR WASTE.	39. FLOOR WASTE.	40. FLOOR WASTE.	41. FLOOR WASTE.	42. FLOOR WASTE.	43. FLOOR WASTE.	44. FLOOR WASTE.	45. FLOOR WASTE.	46. FLOOR WASTE.	47. FLOOR WASTE.	48. FLOOR WASTE.	49. FLOOR WASTE.	50. FLOOR WASTE.	51. FLOOR WASTE.	52. FLOOR WASTE.	53. FLOOR WASTE.	54. FLOOR WASTE.	55. FLOOR WASTE.	56. FLOOR WASTE.	57. FLOOR WASTE.	58. FLOOR WASTE.	59. FLOOR WASTE.	60. FLOOR WASTE.	61. FLOOR WASTE.	62. FLOOR WASTE.	63. FLOOR WASTE.	64. FLOOR WASTE.	65. FLOOR WASTE.	66. FLOOR WASTE.	67. FLOOR WASTE.	68. FLOOR WASTE.	69. FLOOR WASTE.	70. FLOOR WASTE.	71. FLOOR WASTE.	72. FLOOR WASTE.	73. FLOOR WASTE.	74. FLOOR WASTE.	75. FLOOR WASTE.	76. FLOOR WASTE.	77. FLOOR WASTE.	78. FLOOR WASTE.	79. FLOOR WASTE.	80. FLOOR WASTE.	81. FLOOR WASTE.	82. FLOOR WASTE.	83. FLOOR WASTE.	84. FLOOR WASTE.	85. FLOOR WASTE.	86. FLOOR WASTE.	87. FLOOR WASTE.	88. FLOOR WASTE.	89. FLOOR WASTE.	90. FLOOR WASTE.	91. FLOOR WASTE.	92. FLOOR WASTE.	93. FLOOR WASTE.	94. FLOOR WASTE.	95. FLOOR WASTE.	96. FLOOR WASTE.	97. FLOOR WASTE.	98. FLOOR WASTE.	99. FLOOR WASTE.	100. FLOOR WASTE.	101. FLOOR WASTE.	102. FLOOR WASTE.	103. FLOOR WASTE.	104. FLOOR WASTE.	105. FLOOR WASTE.	106. FLOOR WASTE.	107. FLOOR WASTE.	108. FLOOR WASTE.	109. FLOOR WASTE.	110. FLOOR WASTE.	111. FLOOR WASTE.	112. FLOOR WASTE.	113. FLOOR WASTE.	114. FLOOR WASTE.	115. FLOOR WASTE.	116. FLOOR WASTE.	117. FLOOR WASTE.	118. FLOOR WASTE.	119. FLOOR WASTE.	120. FLOOR WASTE.	121. FLOOR WASTE.	122. FLOOR WASTE.	123. FLOOR WASTE.	124. FLOOR WASTE.	125. FLOOR WASTE.	126. FLOOR WASTE.	127. FLOOR WASTE.	128. FLOOR WASTE.	129. FLOOR WASTE.	130. FLOOR WASTE.	131. FLOOR WASTE.	132. FLOOR WASTE.	133. FLOOR WASTE.	134. FLOOR WASTE.	135. FLOOR WASTE.	136. FLOOR WASTE.	137. FLOOR WASTE.	138. FLOOR WASTE.	139. FLOOR WASTE.	140. FLOOR WASTE.	141. FLOOR WASTE.	142. FLOOR WASTE.	143. FLOOR WASTE.	144. FLOOR WASTE.	145. FLOOR WASTE.	146. FLOOR WASTE.	147. FLOOR WASTE.	148. FLOOR WASTE.	149. FLOOR WASTE.	150. FLOOR WASTE.	151. FLOOR WASTE.	152. FLOOR WASTE.	153. FLOOR WASTE.	154. FLOOR WASTE.	155. FLOOR WASTE.	156. FLOOR WASTE.	157. FLOOR WASTE.	158. FLOOR WASTE.	159. FLOOR WASTE.	160. FLOOR WASTE.	161. FLOOR WASTE.	162. FLOOR WASTE.	163. FLOOR WASTE.	164. FLOOR WASTE.	165. FLOOR WASTE.	166. FLOOR WASTE.	167. FLOOR WASTE.	168. FLOOR WASTE.	16
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 A/N: 51044459518
 QBC/UC: 15040397

CLIENT: **ABODE DESIGNER HOMES**
 PROJECT: **PROPOSED UNIT DEVELOPMENT FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET LONGFORD
TAS 7301**
 DRAWING NAME: **COVER**
 ARE PLAN CODE: **ARE DESIGNS**
 QBC/UC: 15040397

PLAN NUMBER: **CL OF 79
1130-21**
 DATE: **27/10/21**
 SCALE @ A3
 NTS

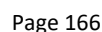
PAGE NO: **CL OF 79**
 DRAWING: **BCC**
 CHECKED: **ODW**

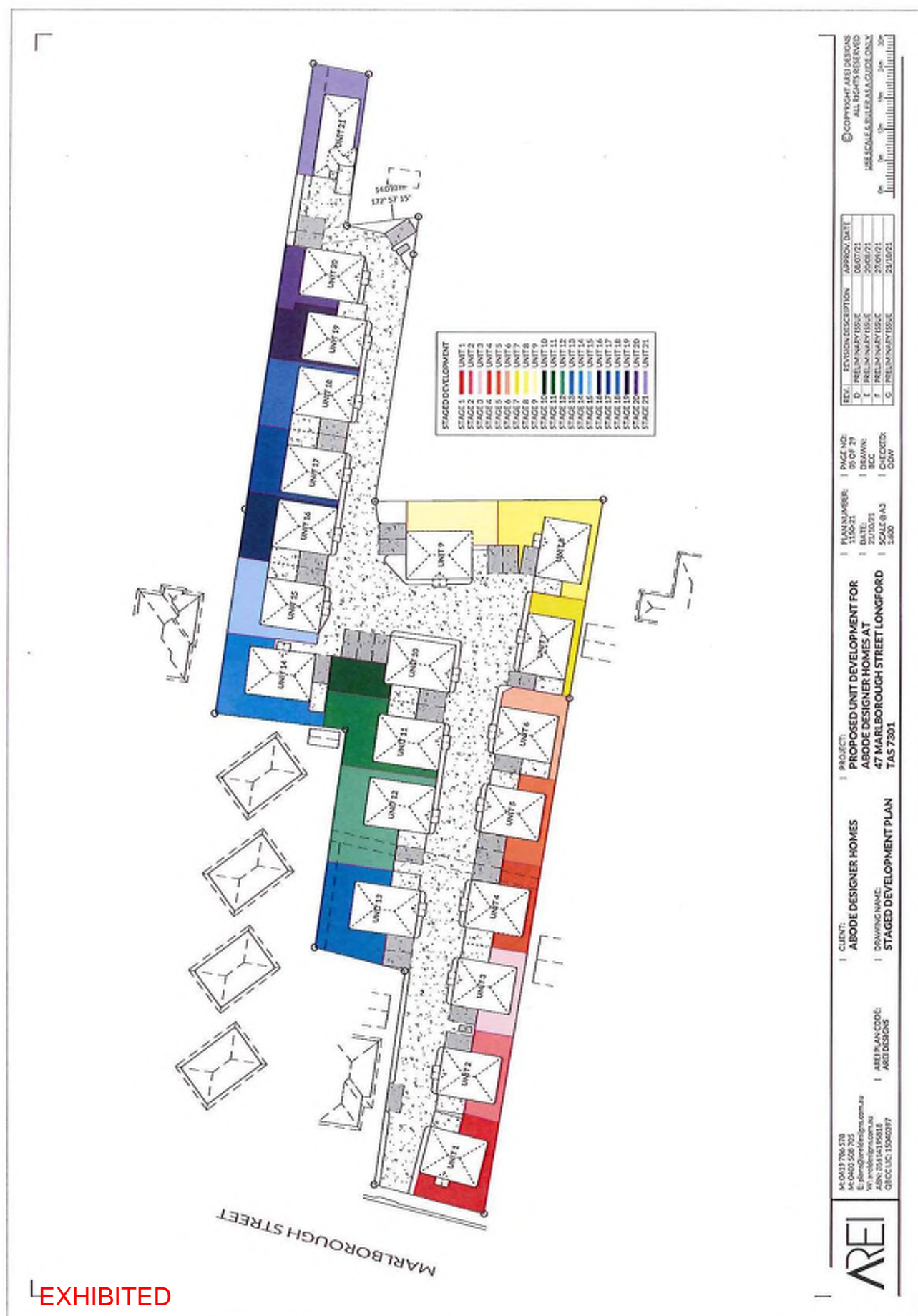
REV.	REVISION DESCRIPTION	APPROVAL DATE
D	PRELIMINARY ISSUE	08/07/21
E	PRELIMINARY ISSUE	20/07/21
F	PRELIMINARY ISSUE	27/07/21
G	PRELIMINARY ISSUE	27/07/21

CROSS SECT AREA
 SCALE NOT APPLICABLE
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FLOOR AREAS

CARPORT	14.5 m ²
LIVING	177 m ²
KITCHEN	14.5 m ²
TOTAL	196.5 m ²

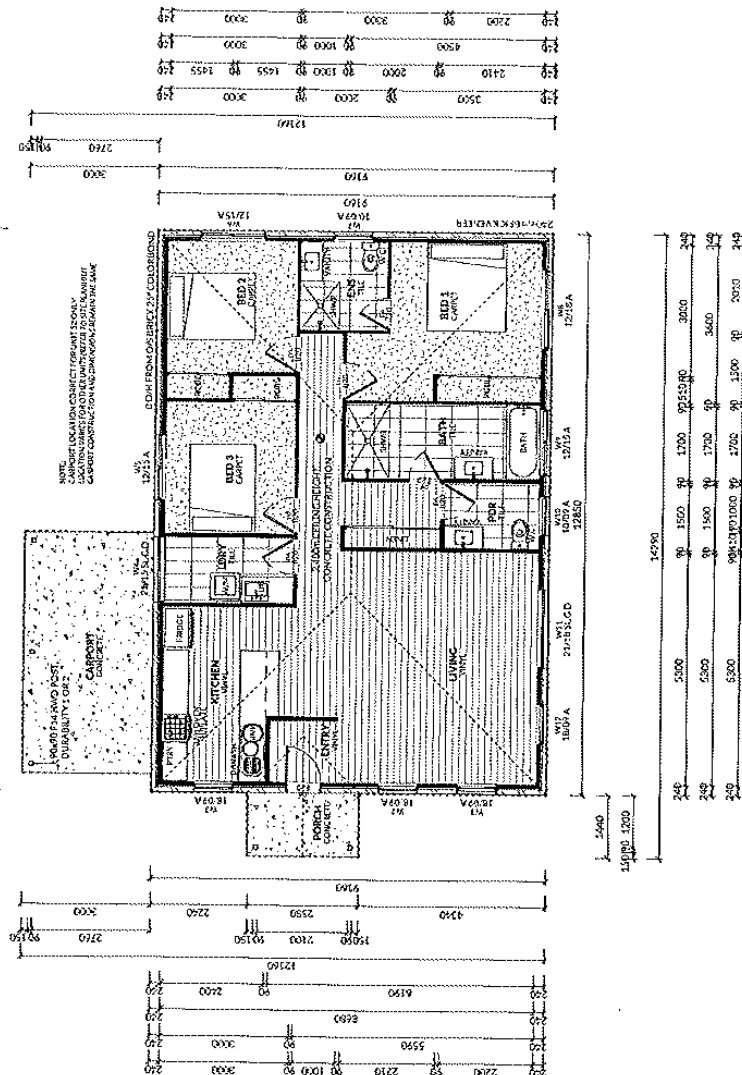
EXHIBITED

MARK	SIZE	DESCRIPTION
W1	1200 x 1500	ALUM. FRAMED AWNING
W2	1200 x 1500	ALUM. FRAMED AWNING
W3	1200 x 1500	ALUM. FRAMED AWNING
W4	1200 x 1500	ALUM. FRAMED AWNING
W5	1200 x 1500	ALUM. FRAMED AWNING
W6	1200 x 1500	ALUM. FRAMED AWNING
W7	1200 x 1500	ALUM. FRAMED AWNING
W8	1200 x 1500	ALUM. FRAMED AWNING
W9	1200 x 1500	ALUM. FRAMED AWNING
W10	1200 x 1500	ALUM. FRAMED AWNING
W11	1200 x 1500	ALUM. FRAMED AWNING
W12	1200 x 1500	ALUM. FRAMED AWNING

MARK	SIZE	DOOR TYPE
D1	2040 x 820	HOLLOW CORE SWING
D2	2040 x 820	HOLLOW CORE SWING
D3	2040 x 820	HOLLOW CORE SWING
D4	2040 x 820	HOLLOW CORE SWING
D5	2040 x 820	HOLLOW CORE SWING
D6	2040 x 820	HOLLOW CORE SWING
D7	2040 x 820	HOLLOW CORE SWING
D8	2040 x 820	GLASS ENTRY DOOR

ENERGY EFFICIENCY REQUIREMENTS

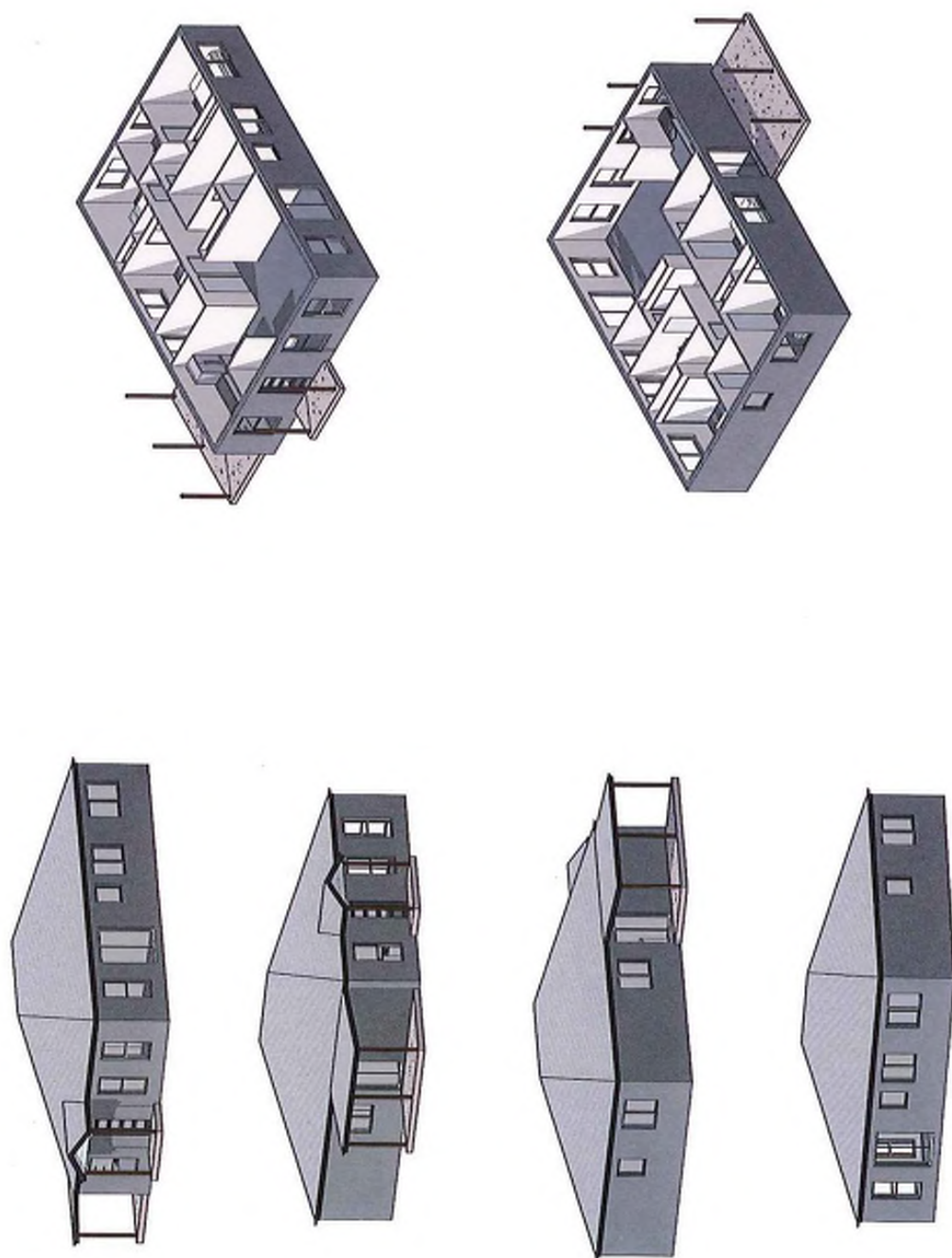
- R20 BATS TO EXTERNAL WALLS AND CASAGE INTERNAL WALL
- DOWNLIGHTS TO BE MINIC RATED
- ALL WINDOWS AND SLIDING GLASS DOORS DOUBLE GLAZED



PROJECT: UNIT TYPE A1 FOR ABOPE DESIGNER HOMES AT 47 MARLBOROUGH STREET LONGFORD TAS 7301
 CLIENT: ABOPE DESIGNER HOMES
 DRAWING NAME: FLOOR PLAN
 PROJECT NUMBER: 1550-21
 DATE: 21/02/21
 SCALE: 1:100
 CHECKED: CRW
 REV: 1 PRELIMINARY ISSUE 08/07/21
 REV: 2 PRELIMINARY ISSUE 10/09/21
 REV: 3 PRELIMINARY ISSUE 27/09/21
 REV: 4 PRELIMINARY ISSUE 21/09/21
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REV.	REVISION DESCRIPTION	APPROVAL DATE
D	PRELIMINARY ISSUE	06/07/21
E	PRELIMINARY ISSUE	20/08/21
F	PRELIMINARY ISSUE	27/09/21
G	PRELIMINARY ISSUE	25/10/21

PLAN NUMBER:	15/00/21
DATE:	25/10/21
SCALE @ A3:	1:500
SCALE @ A4:	1:1000
SCALE @ A5:	1:2000
SCALE @ A6:	1:4000
SCALE @ A7:	1:8000
SCALE @ A8:	1:16000
SCALE @ A9:	1:32000
SCALE @ A10:	1:64000
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SCALE @ A63:	1:576460752303423488000
SCALE @ A64:	1:1152921504606846976000
SCALE @ A65:	1:2305843009213693952000
SCALE @ A66:	1:4611686018427387904000
SCALE @ A67:	1:9223372036854775808000
SCALE @ A68:	1:18446744073709551616000
SCALE @ A69:	1:36893488147419103232000
SCALE @ A70:	1:73786976294838206464000
SCALE @ A71:	1:147573952589676412928000
SCALE @ A72:	1:295147905179352825856000
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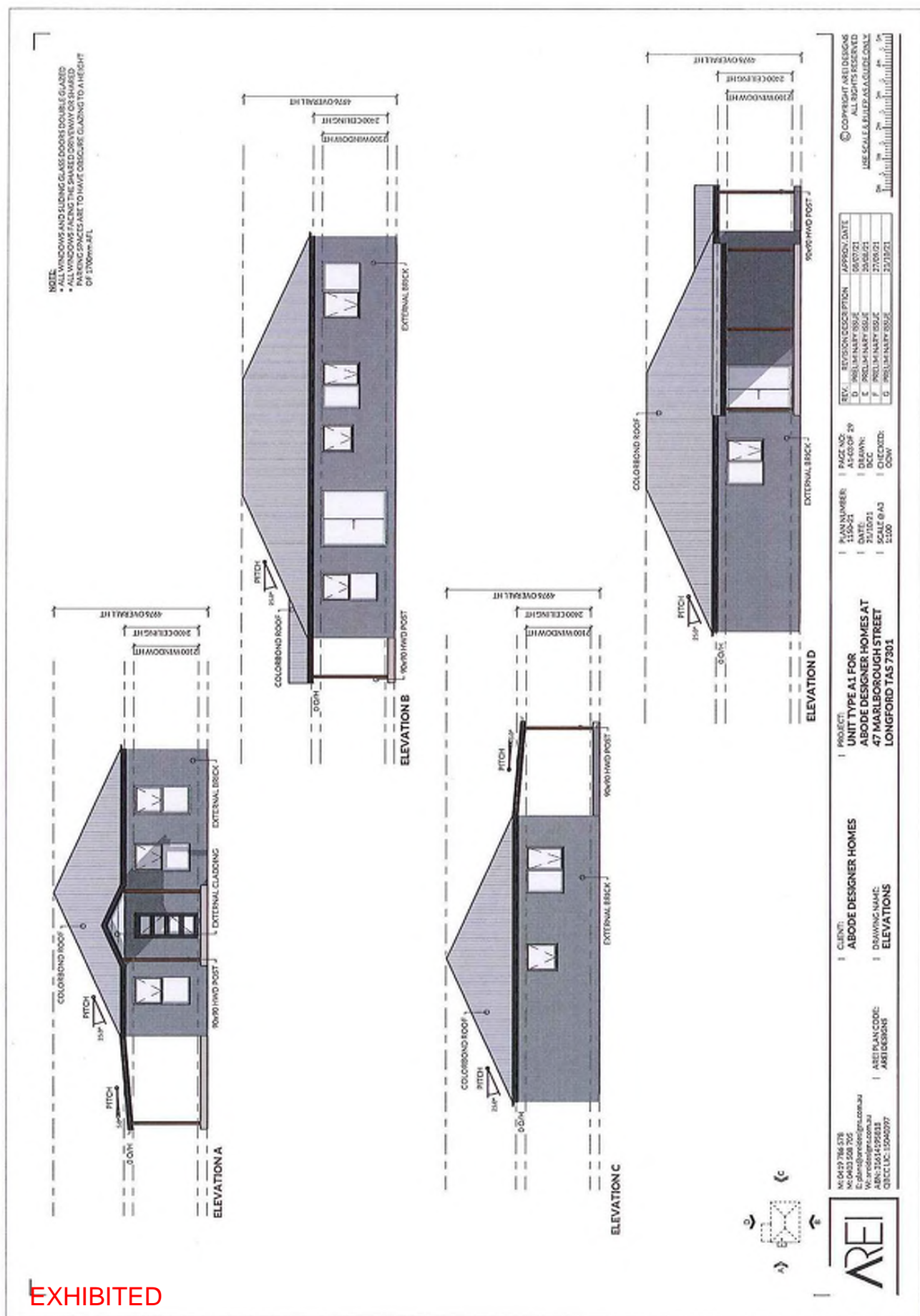
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DRAWING NAME: 3D VIEWS

AREI PLAN CODE: AREI DESIGNS

M 0415 700 570
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E 0403 300 705
AREI 1514 451 5518
QRECC 1514 451 5518

AREI

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EXHIBITED

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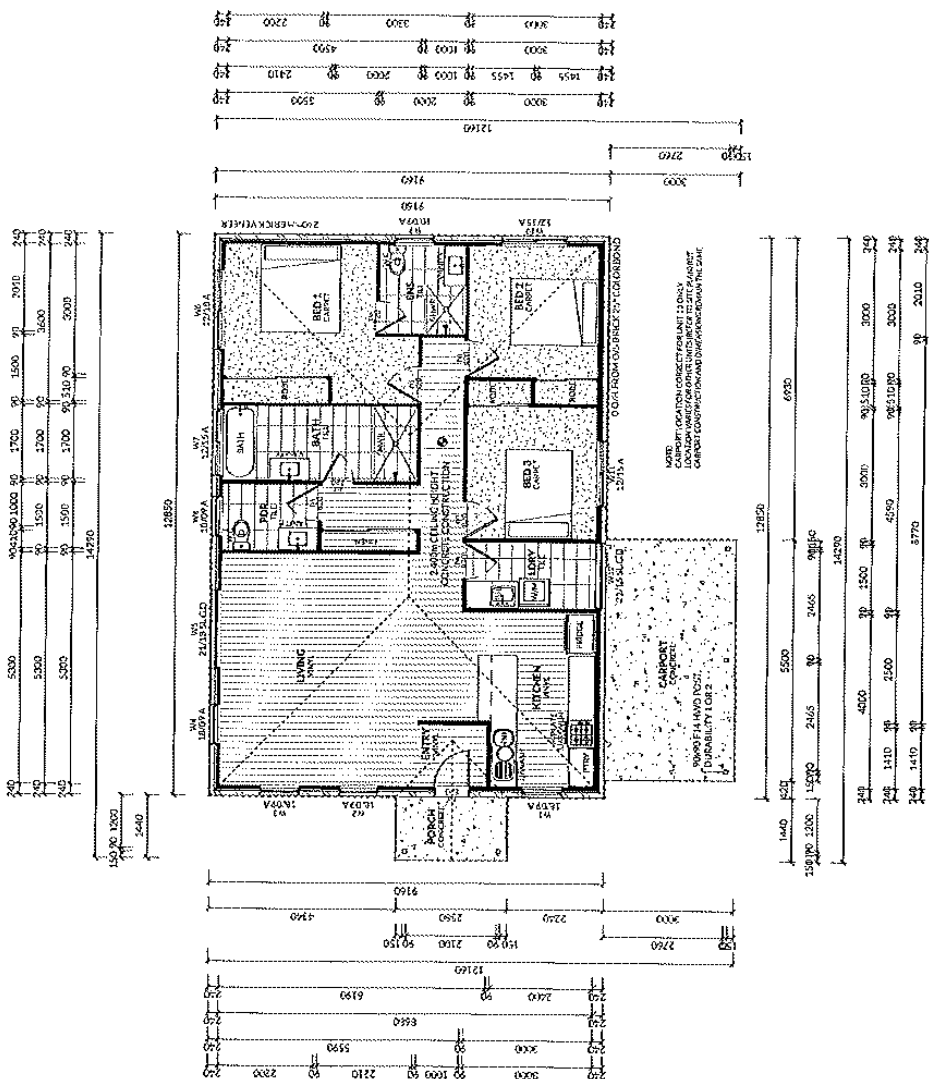
FLOOR AREAS


CARPORT 14.5m²
LIVING 117.7m²
PORCH 37.6m²
TOTAL 179.8m²

MARK	SIZE	DESCRIPTION
W1	1200 x 1500	ALUM. FRAMED AWNING
W2	1200 x 1500	ALUM. FRAMED AWNING
W3	1200 x 1500	ALUM. FRAMED AWNING
W4	1200 x 1500	ALUM. FRAMED AWNING
W5	2100 x 1800	ALUM. FRAMED SLIDING GLASS DOOR
W6	1200 x 1500	ALUM. FRAMED AWNING
W7	1200 x 1500	ALUM. FRAMED AWNING
W8	1200 x 1500	ALUM. FRAMED AWNING
W9	1200 x 1500	ALUM. FRAMED AWNING
W10	1200 x 1500	ALUM. FRAMED AWNING
W11	1200 x 1500	ALUM. FRAMED AWNING
W12	2100 x 1800	ALUM. FRAMED SLIDING GLASS DOOR

MARK	SIZE	DOOR TYPE
D1	2000 x 800	HOLLOW CORE SWING
D2	2000 x 800	HOLLOW CORE SWING
D3	2000 x 800	HOLLOW CORE SWING
D4	2000 x 800	HOLLOW CORE SWING
D5	2000 x 800	HOLLOW CORE SWING
D6	2000 x 800	HOLLOW CORE SWING
D7	2000 x 800	HOLLOW CORE SWING
D8	2000 x 800	HOLLOW CORE SWING
D9	2000 x 800	HOLLOW CORE SWING
D10	2000 x 800	HOLLOW CORE SWING
D11	2000 x 800	HOLLOW CORE SWING
D12	2000 x 800	HOLLOW CORE SWING

- ENERGY EFFICIENCY REQUIREMENTS
- * ROOF TO CEILING
 - * ROOF TO CEILING
 - * GARAGE INTERNAL WALL
 - * DOWNLIGHTS TO BE MINICATED
 - * ALL WINDOWS AND SLIDING GLASS DOORS DOUBLE GLAZED





M: 0419 786 578
M: 0403 038 705
E: info@arei.com.au
ABN: 51414195318
QCC: LIC: 15040397

CLIENT: ABODE DESIGNER HOMES
DRAWING NAME: FLOOR PLAN

PROJECT: UNIT TYPE A2 FOR ABODE DESIGNER HOMES AT 47 MARLBOROUGH STREET LONGFORD TAS 7301

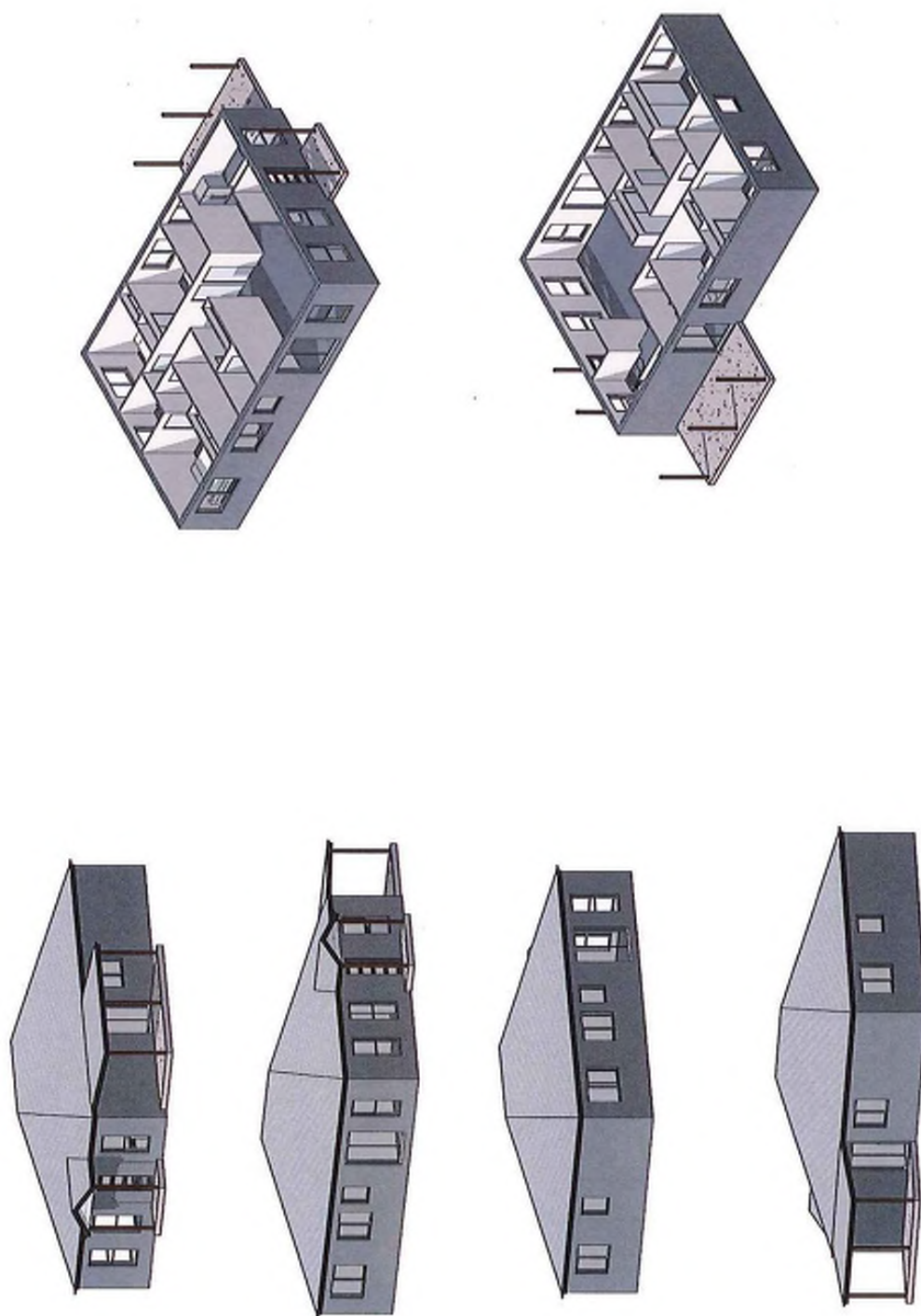
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DATE: 27/09/21
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PAGE NO: 12 OF 29
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CHECKED: OOW

REVISION DESCRIPTION APPROVAL DATE

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2	PRELIMINARY ISSUE	27/09/21
3	PRELIMINARY ISSUE	27/09/21
4	PRELIMINARY ISSUE	27/09/21

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 Tel: 0400 508 795
 E: planning@design.com.au
 W: www.design.com.au
 A/NZ: 016 5615510
 DCCC INC: 15040097

REF

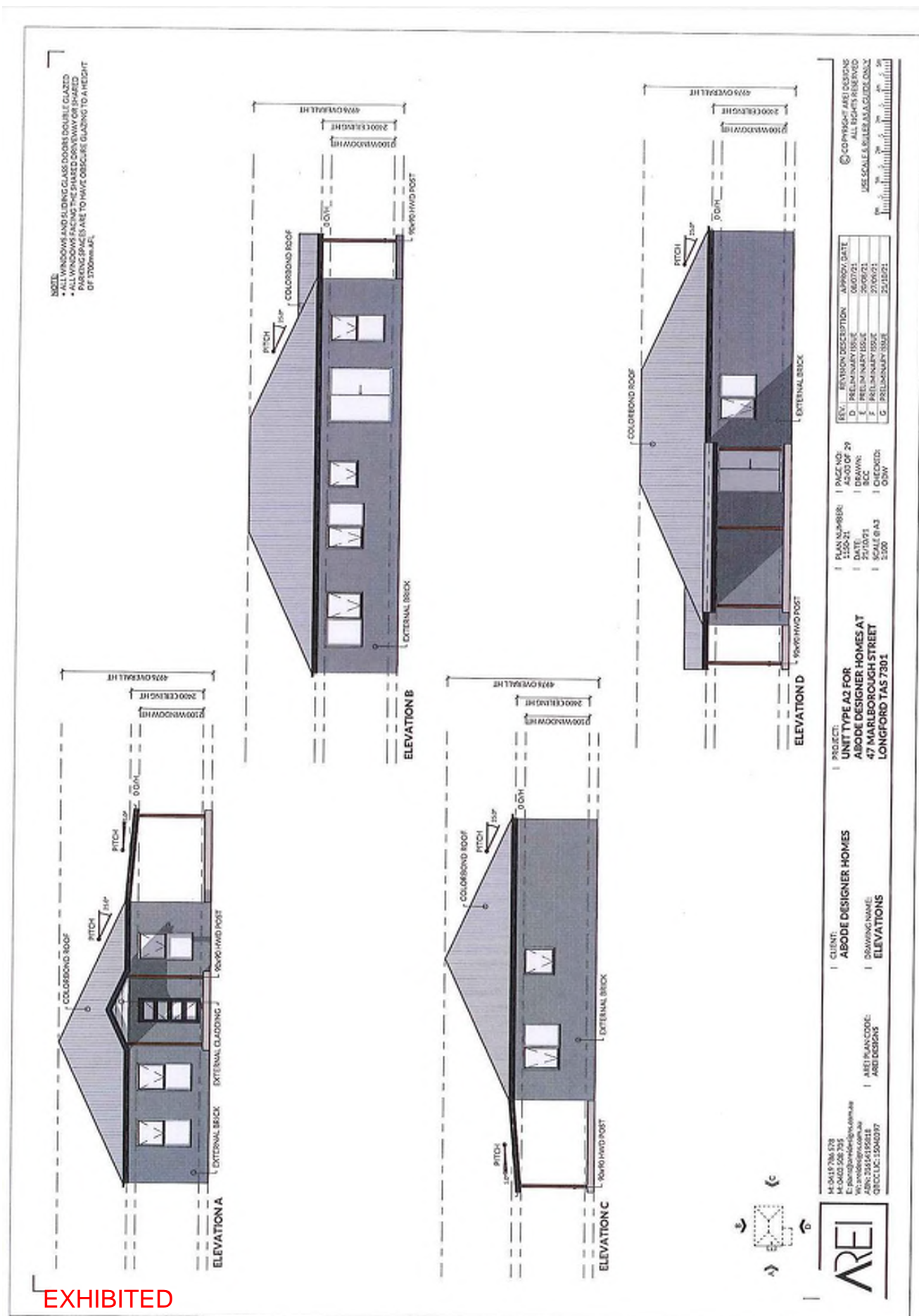
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DRAWING NAME: **3D VIEWS**

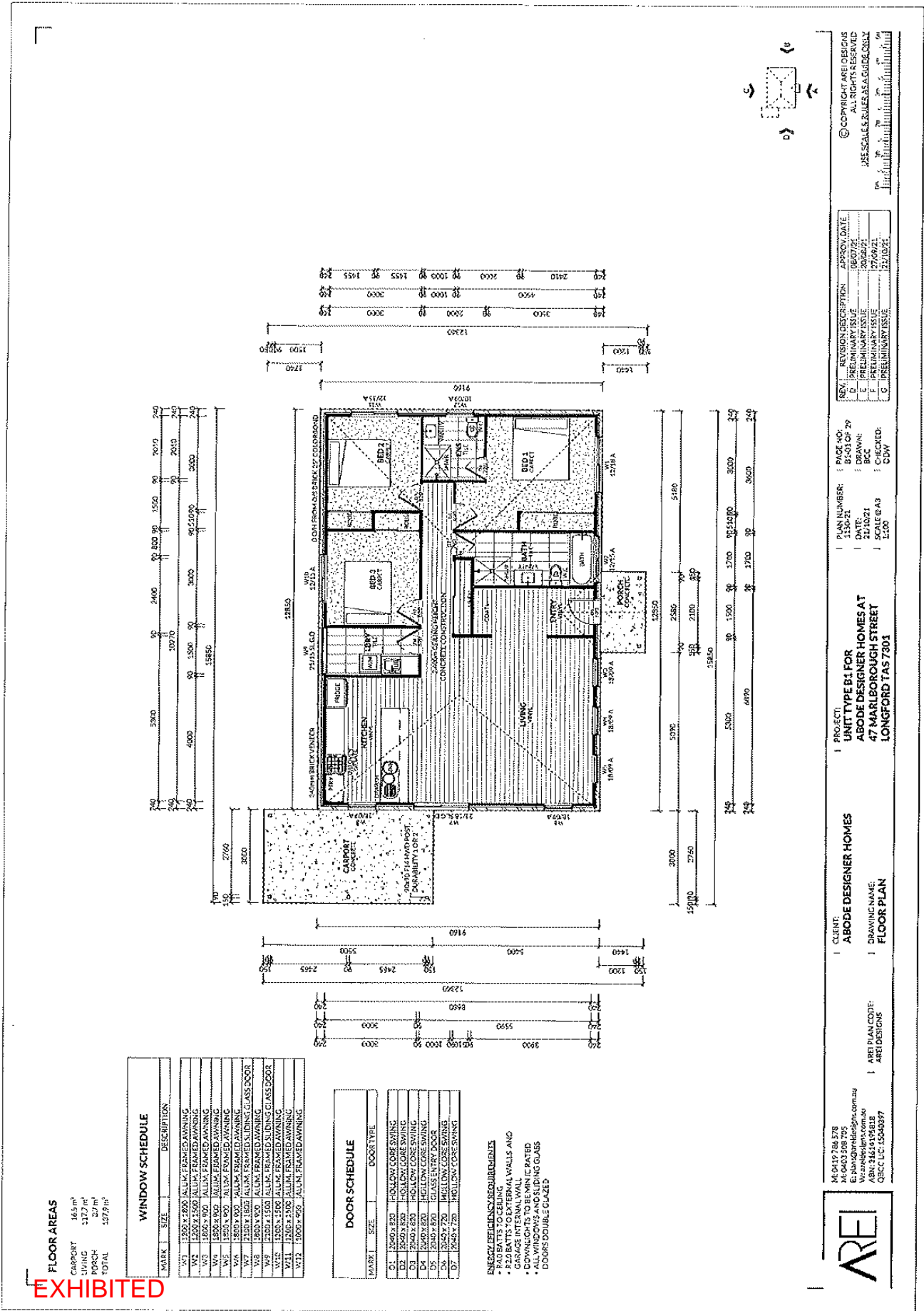
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UNIT TYPE A2 FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET
LONGFORD TAS 7301

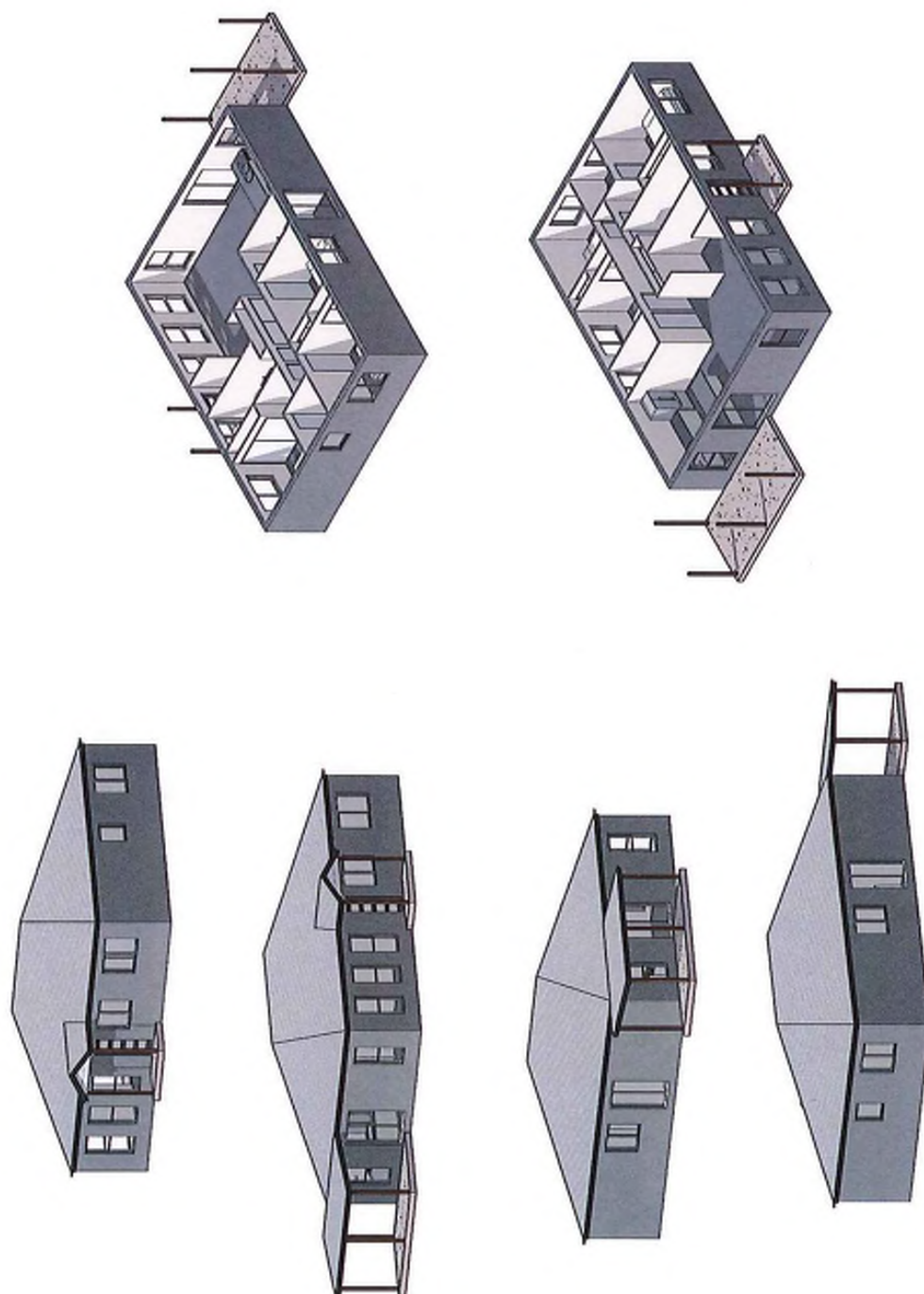
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21/10/21	BOC
SCALE: 1:150	CHECKED:
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1:50 1:20 1:10 1:50 1:20 1:10

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F	PRELIMINARY ISSUE	27/09/21
G	PRELIMINARY ISSUE	27/09/21

PLAN NUMBER: 11/00/21
DATE: 27/12/21
SCALE @ A3: 1:50
PAGE NO: 11/00/21-29
DRAWN: BCC
CHECKED: OOW

PROJECT:
UNIT TYPE B1 FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET
LONGFORD TAS 7301

CLIENT:
ABODE DESIGNER HOMES
DRAWING NAME:
3D VIEWS

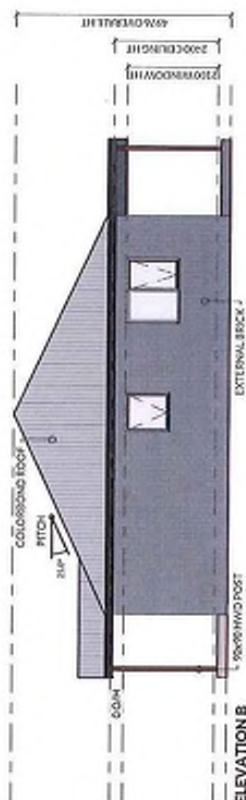
AREI PLAN CODE:
AREI DESIGNS
N:0419 716 578
N:0403 508 702
E: info@areidesigns.com.au
W: areidesigns.com.au
O: 11/00/21-29
OFFICE: 11/00/21-29

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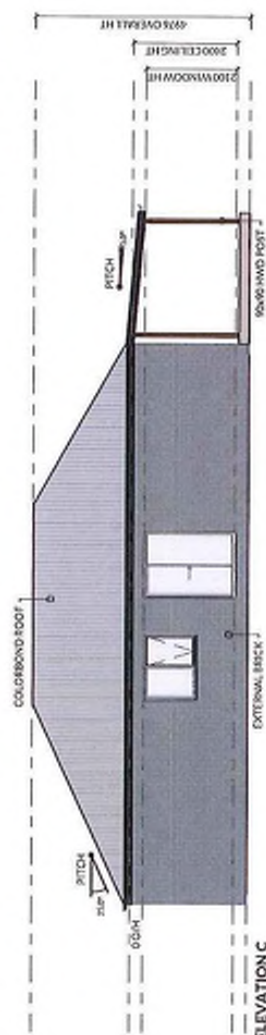
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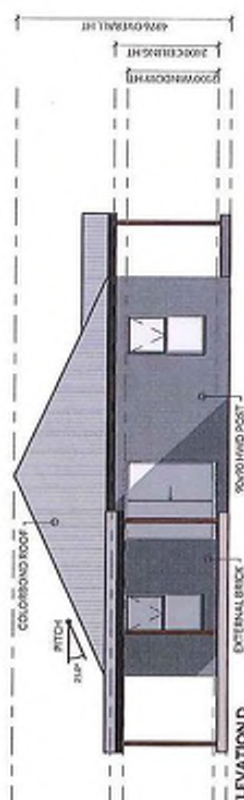
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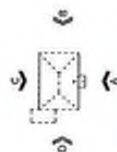
ELEVATION B



ELEVATION C



ELEVATION D



025 902 6140

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DOI: 10.1002/anie.201100018

CLIENT:

ABODE DESIGNER HOMES

ADDITIONAL WORK.

ELEVATIONS

PROJECT

UNIT TYPE B1 FOR

ABODE DESIGNER HOMES AT

47 MARLBOROUGH STREET
LONGFORD T A C 7304

LONGFORD 1A3 / 30.5

PLAY NUMBER:

1190-21

DATE _____
PAGE _____

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Notes

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1	RECEIVED	08/07/21
2	RECEIVED	08/07/21

2	22 JUL 1991	2508Z
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10/18/97	4765 APTN-21326	
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27/06/97		

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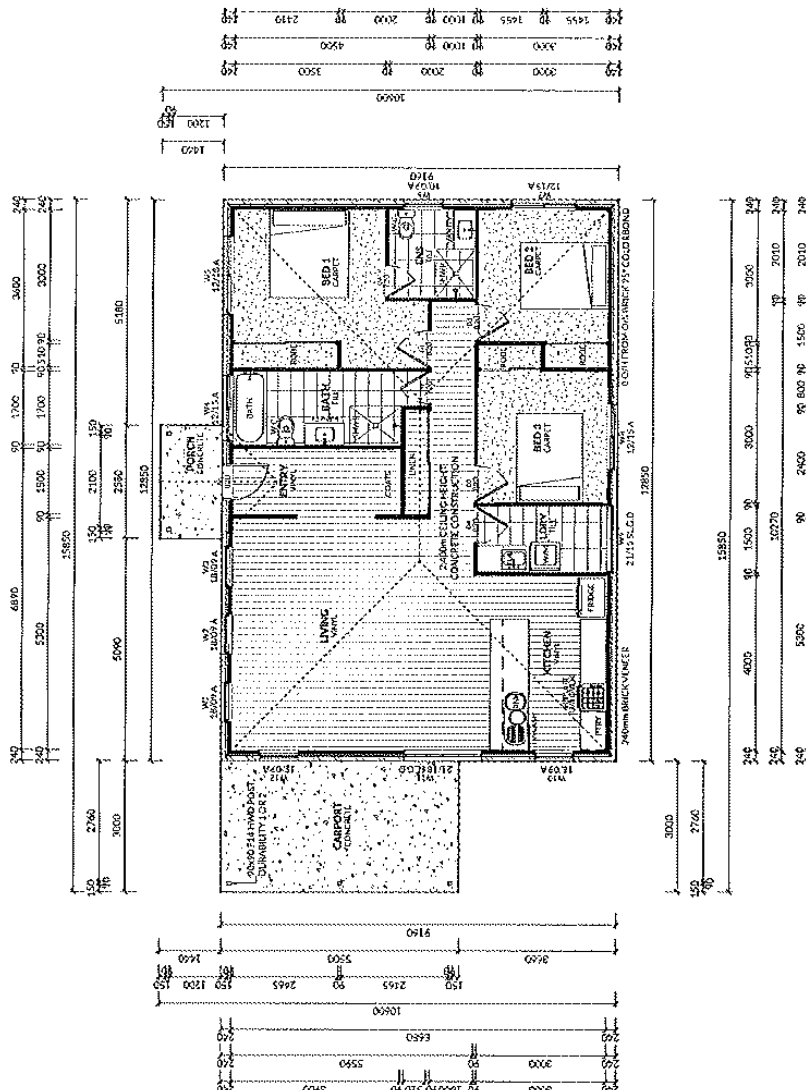
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LIVING	127.7 m ²
PORCH	3.7 m ²
TOTAL	137.9 m ²

MARK	SIZE	DESCRIPTION
W1	1600 x 905	VALUETAL FRAMED AWNING
W2	1800 x 905	ALUMI FRAMED AWNING
W3	1500 x 905	ALUMI FRAMED AWNING
W4	2000 x 1500	ALUMI FRAMED AWNING
W5	2000 x 1800	FRAMED AWNING
W6	2000 x 905	ALUMI FRAMED AWNING
W7	2000 x 1500	ALUMI FRAMED AWNING
W8	2000 x 1500	ALUMI FRAMED AWNING
W9	2000 x 1500	ALUMI FRAMED AWNING
W10	2000 x 1500	ALUMI FRAMED AWNING
W11	2400 x 1800	ALUMI FRAMED SLIDING GLASS DOOR
W12	2400 x 1800	ALUMI FRAMED SLIDING GLASS DOOR
W13	2400 x 1800	ALUMI FRAMED AWNING

DOOR SCHEDULE		DOOR TYPE
MARK	SIZE	
D1	2040 x 820	HOLLOW CORE SWING
D2	2040 x 820	HOLLOW CORE SWING
D3	2040 x 820	HOLLOW CORE SWING
D4	2040 x 820	HOLLOW CORE SWING
D5	2040 x 820	GLASS ENTRY DOOR
D6	2040 x 720	HOLLOW CORE SWING
D7	2040 x 720	HOLLOW CORE SWING

ENERGY EFFICIENCY REQUIREMENTS

- ▶ R40 BATTS TO CEILING
- ▶ R20 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALL
- ▶ DOWNLIGHTS TO BE MINIC RATED
- ▶ ALL WINDOWS AND SLIDING GLASS DOORS DOUBLE GLAZED



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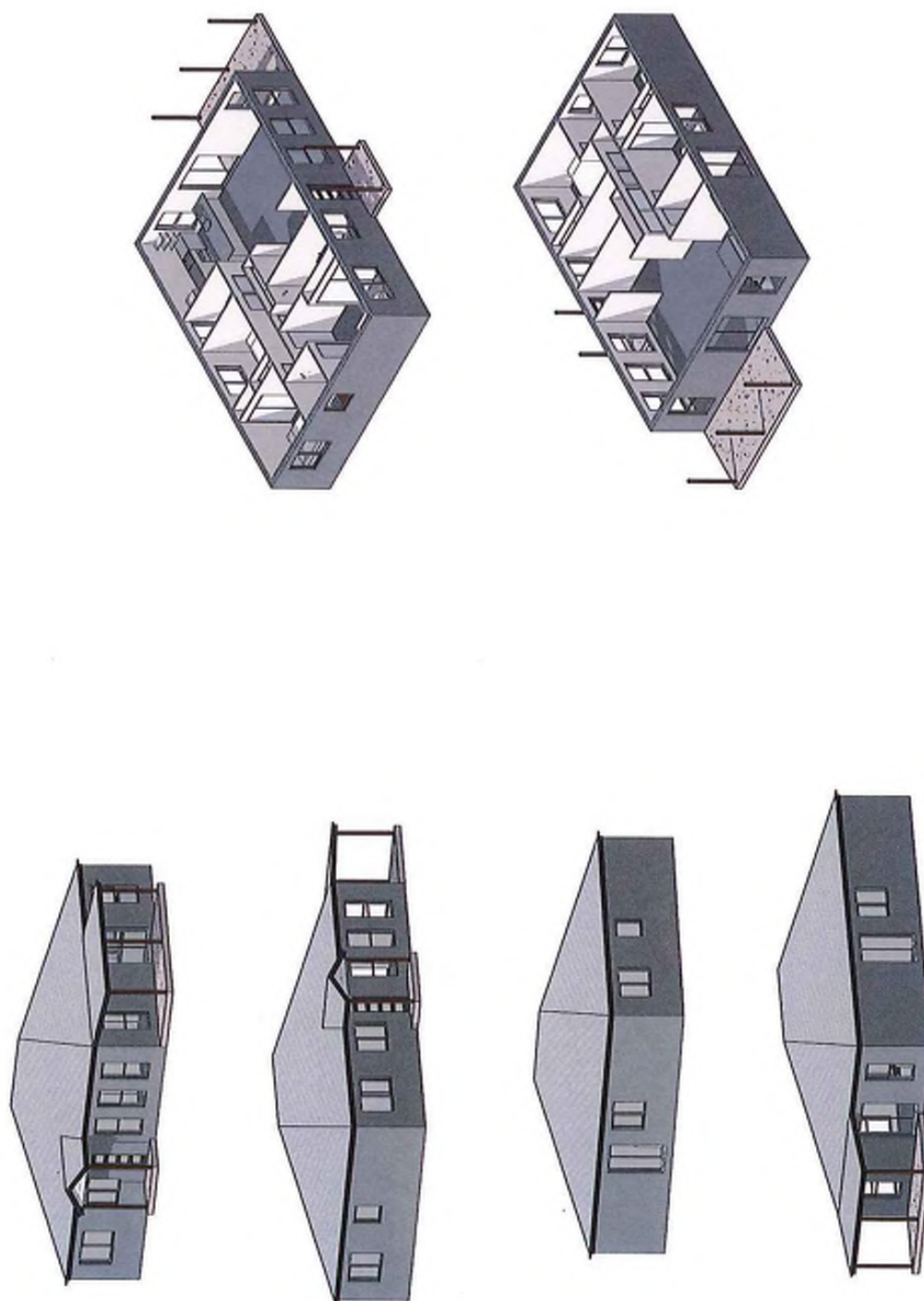
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UNIT TYPE B2 FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET
LONGFORD TAS 7301

CLIENT: **ABODE DESIGNER HOMES**
DRAWING NAME: **FLOOR PLAN**

AREI PLAY CODE:
AREI DESIGNS

M: 01-9 780 578
M: 0403 508 705
E: plomb@airclimatic.com
F: airclimatic.com
A8N: 31614195818
Q8CC LC: 153M0397

REV



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PLAN NUMBER:	PAGE NO. OF 27
DATE:	DATE:
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UNIT TYPE B2 FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET
LONGFORD TAS 7301

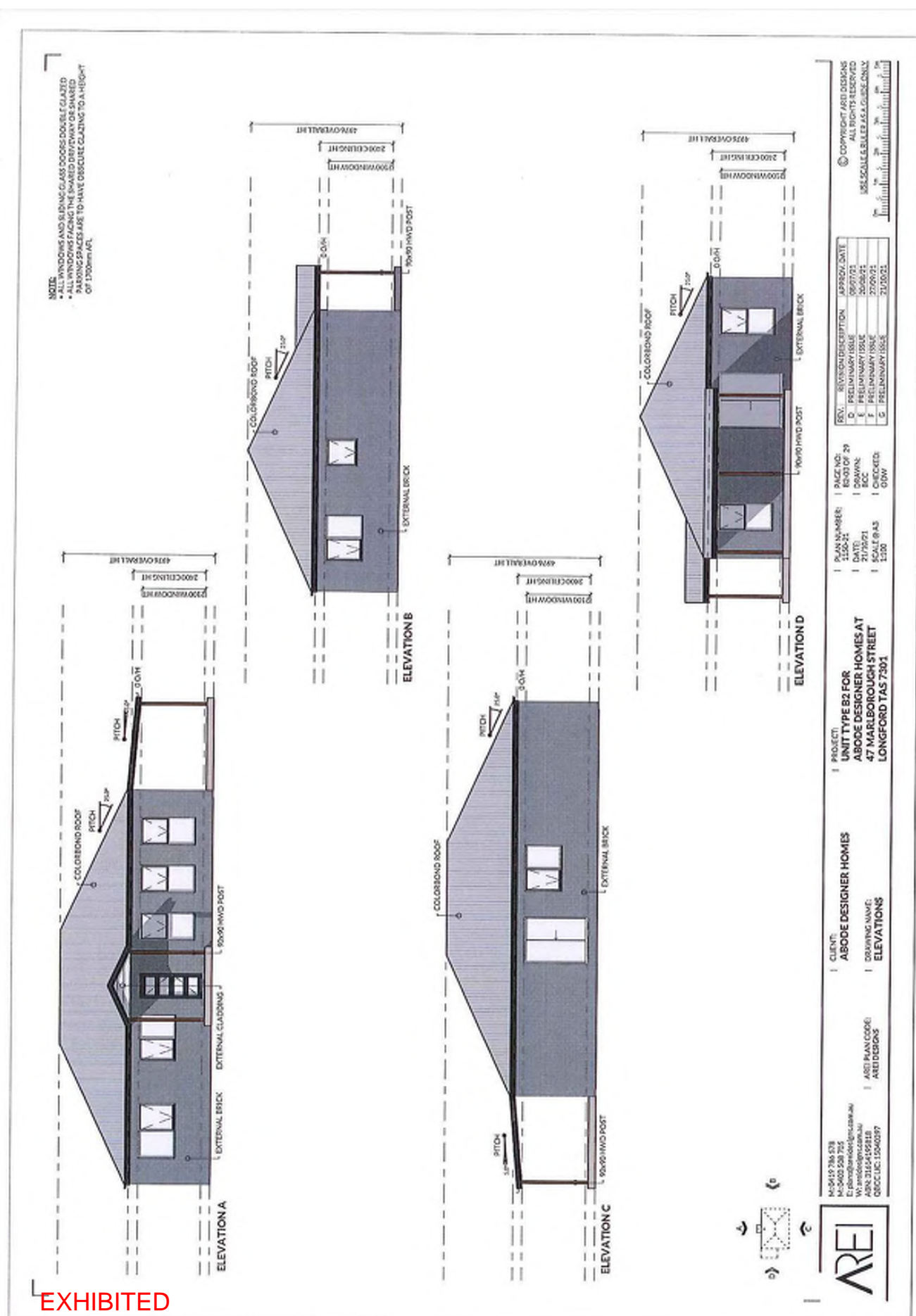
CLIENT:
ABODE DESIGNER HOMES
DRAWING NAME:
3D VIEWS

ARCHITECT:
AREI
ARCHITECTS

14/5419 7364 578
M: 5403 508 795
E: plans@areiarchitects.com.au
W: www.areiarchitects.com.au
PO BOX 3134 159018
QUEENSLAND 4000

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ARCHITECTS

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FLOOR AREAS

CARPORT	14.5 m ²
LIVING	105.8 m ²
PORCH	3.7 m ²
TOTAL	126.0 m ²

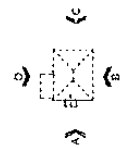
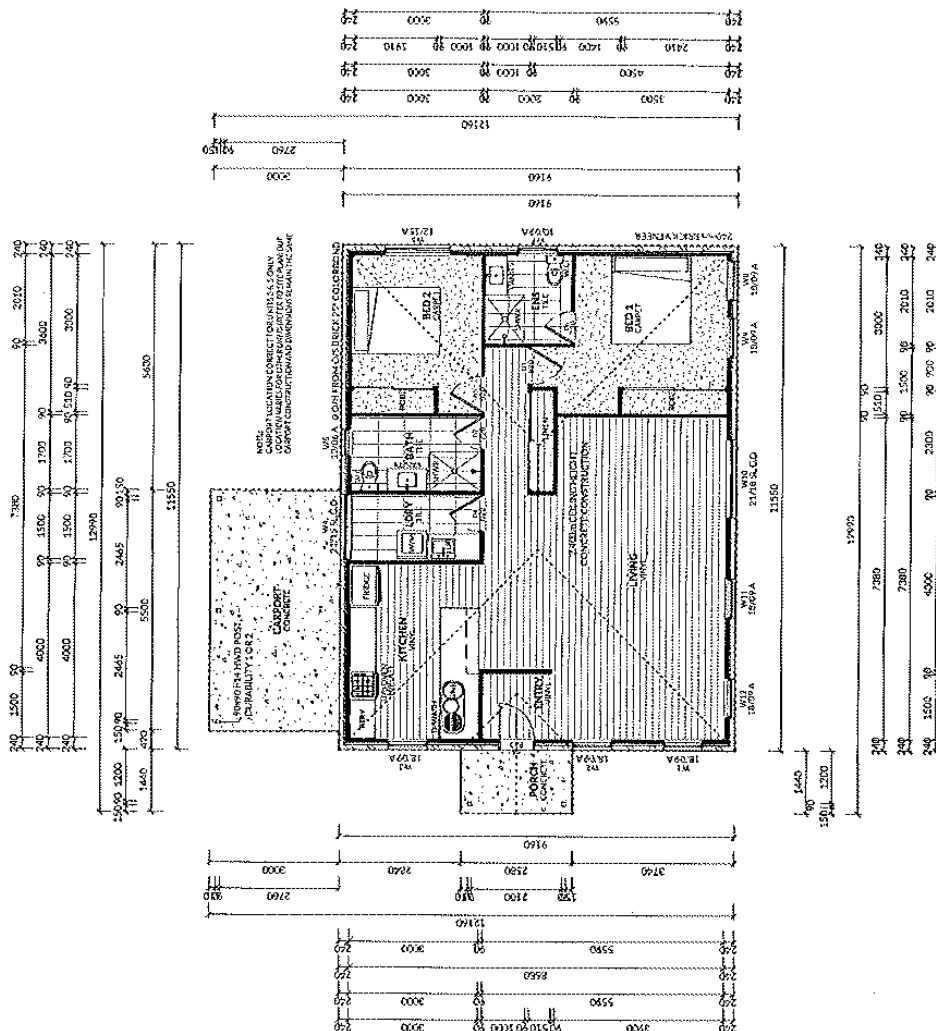
WINDOW SCHEDULE

MARK	SIZE	DESCRIPTION
W1	1500 x 900	ALUM. FRAMED AWNING
W2	1800 x 900	ALUM. FRAMED AWNING
W3	1800 x 900	ALUM. FRAMED AWNING
W4	1800 x 900	ALUM. FRAMED AWNING
W5	2100 x 1500	ALUM. FRAMED SLIDING GLASS DOOR
W6	1200 x 600	ALUM. FRAMED AWNING
W7	1200 x 600	ALUM. FRAMED AWNING
W8	1800 x 900	ALUM. FRAMED AWNING
W9	1800 x 900	ALUM. FRAMED AWNING
W10	1100 x 1500	ALUM. FRAMED SLIDING GLASS DOOR
W11	1800 x 900	ALUM. FRAMED AWNING
W12	1800 x 900	ALUM. FRAMED AWNING

DOOR SCHEDULE

MARK	SIZE	DOOR TYPE
D1	2040 x 820	HOLLOW CORE SWING
D3	2040 x 820	HOLLOW CORE SWING
F4	2040 x 820	HOLLOW CORE SWING
D5	2040 x 820	GLASS ENTRY DOOR
D6	2040 x 720	HOLLOW CORE SWING
D7	2040 x 720	HOLLOW CORE SWING

- ENERGY EFFICIENCY REQUIREMENTS**
- R4.0 BATTS TO CEILING
 - R2.0 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALL
 - DOWNLIGHTS TO BE MIN I C RATED
 - ALL WINDOWS AND SLIDING GLASS DOORS DOUBLE GLAZED



REV.	REVISION DESCRIPTION	APPROV. DATE
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E	PRELIMINARY ISSUE	20/08/02
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DATE:	21/10/21	DRAWN:	BCC
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PROJECT:
UNIT TYPE C1 FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET
LONGFORD TAS 7301

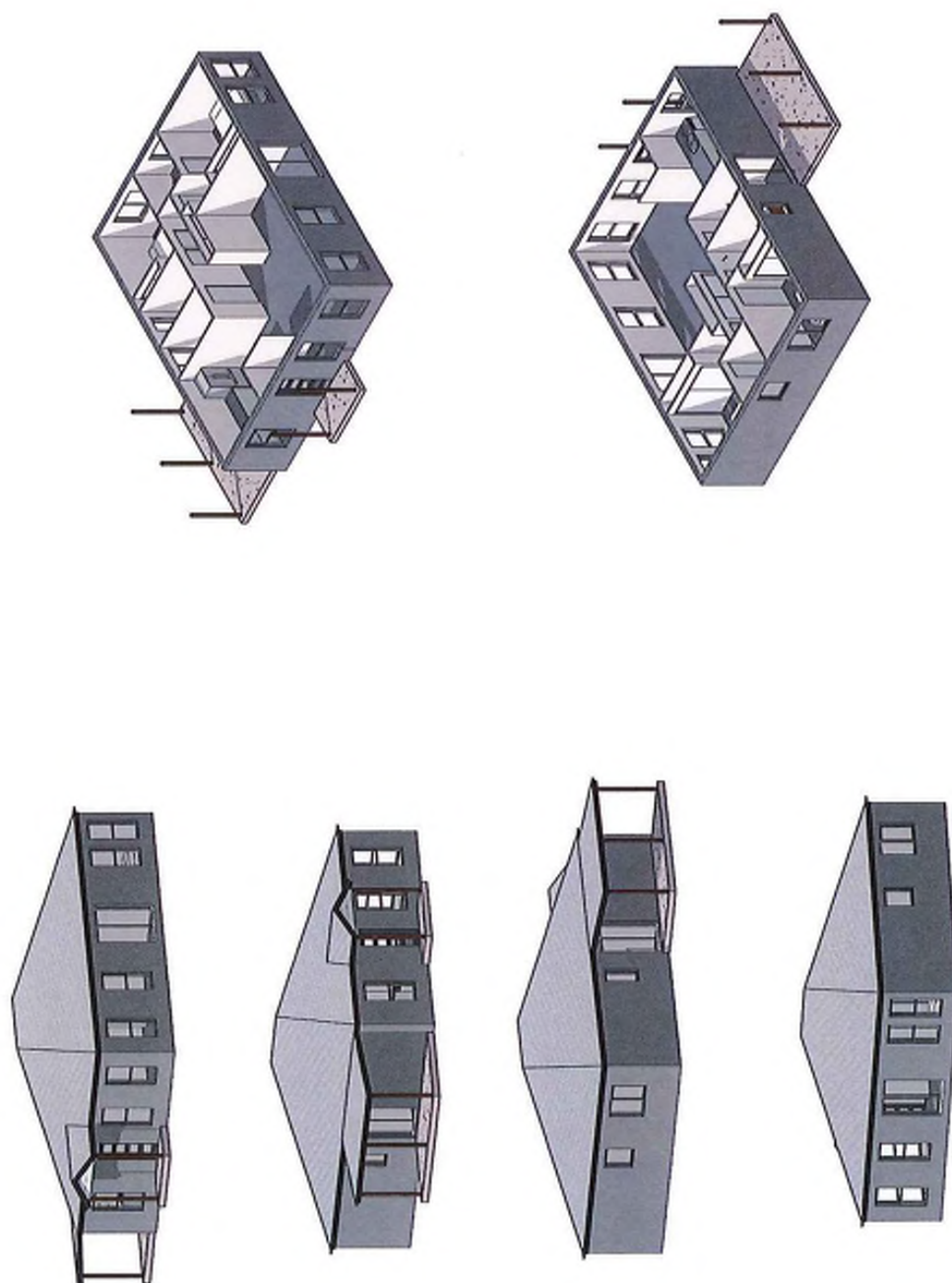
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DRAWING NAME: **FLOOR PLAN**

AREI PLAN CODE:
AREI DESIGNS

M: 0419 706 578
M: 0403 502 705
E: planning@redesigns.com.au
W: redesigns.com.au
ABN: 316 24 195818
QBCC LC: 15040397

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PLAN NUMBER: 11500-01
DATE: 21/10/21
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CADD OF: 29
DATE: 21/10/21
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UNIT TYPE C1 FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET
LONGFORD TAS 7301

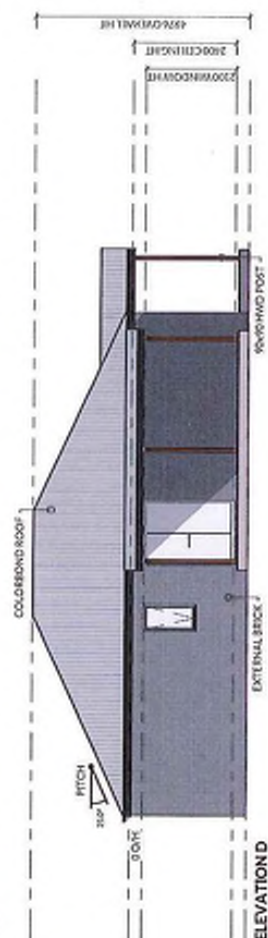
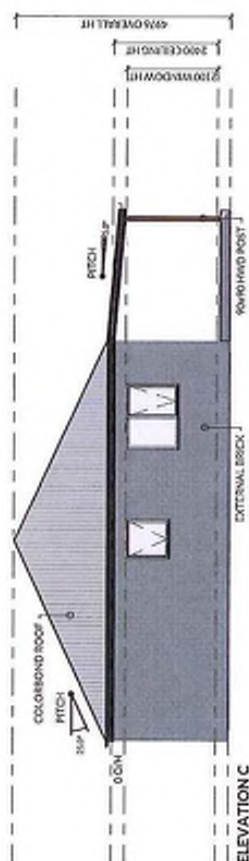
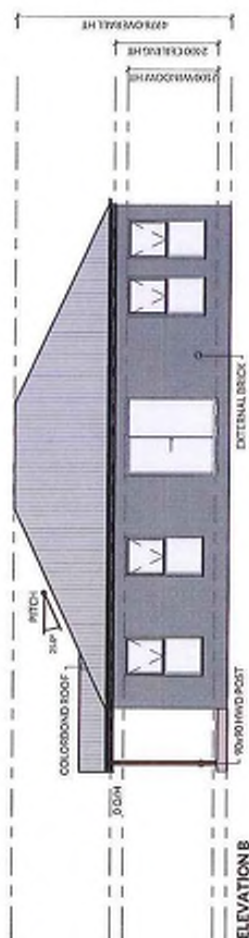
CLIENT:
ABODE DESIGNER HOMES

DRAWING NAME:
3D VIEWS

AREI PLAN CODE:
AREI DESIGNS

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MO 0453 508 705
W 0813 411 111
AREI 25414125413
QBC CC LTD: 15040397

AREI



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DATE:	DRAWN:
21/10/21	DCC
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PROJECT:
UNIT TYPE C1 FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET
LONGFORD TAS 7301

CLIENT: **ABODE DESIGNER HOMES**
DRAWING NAME: **ELEVATIONS**

ARCH PLAN CODE:
ARCH DESIGNS

P: 0429 786 578
 F: 0429 508 705
 E: plans@arcdesigns.com.au
 W: www.arcdesigns.com.au
 BN: 3161419603
 A/C LIC: 15040997

REV

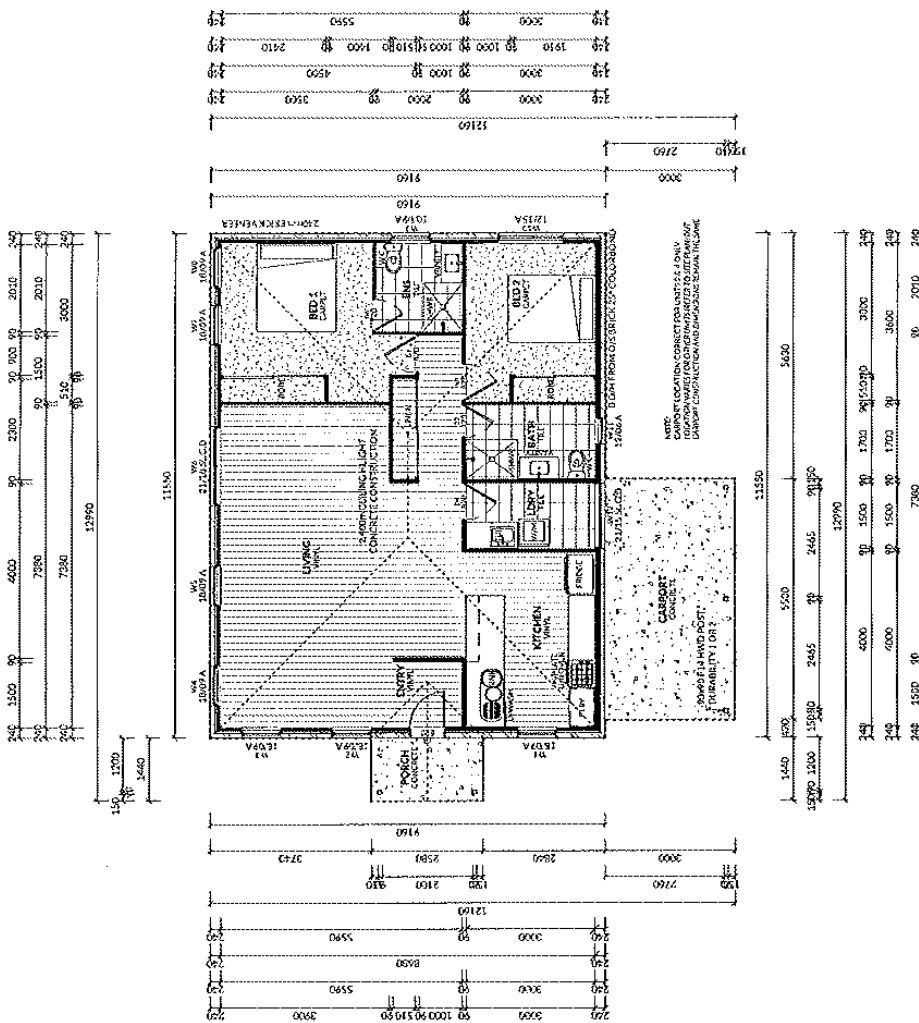
CARPET	16.5 m ²
LIVING	105.8 m ²
PORCH	3.7 m ²
TOTAL	126.0 m ²

MARK	SIZE	DESCRIPTION
W1	1800 x 900	ALUMI FRAMED AWNING
W2	2500 x 900	ALUMI FRAMED AWNING
W3	1800 x 900	ALUMI FRAMED AWNING
W4	1800 x 900	ALUMI FRAMED AWNING
W5	1600 x 900	ALUMI FRAMED AWNING
W6	2100 x 3500	ALUMI FRAMED SLIDING GLASS DOOR
W7	2500 x 900	ALUMI FRAMED AWNING
W8	2500 x 900	ALUMI FRAMED AWNING
W9	2500 x 900	ALUMI FRAMED AWNING
W10	2700 x 2500	ALUMI FRAMED AWNING
W11	2700 x 600	ALUMI FRAMED AWNING
W12	2500 x 1500	ALUMI FRAMED SLIDING GLASS DOOR

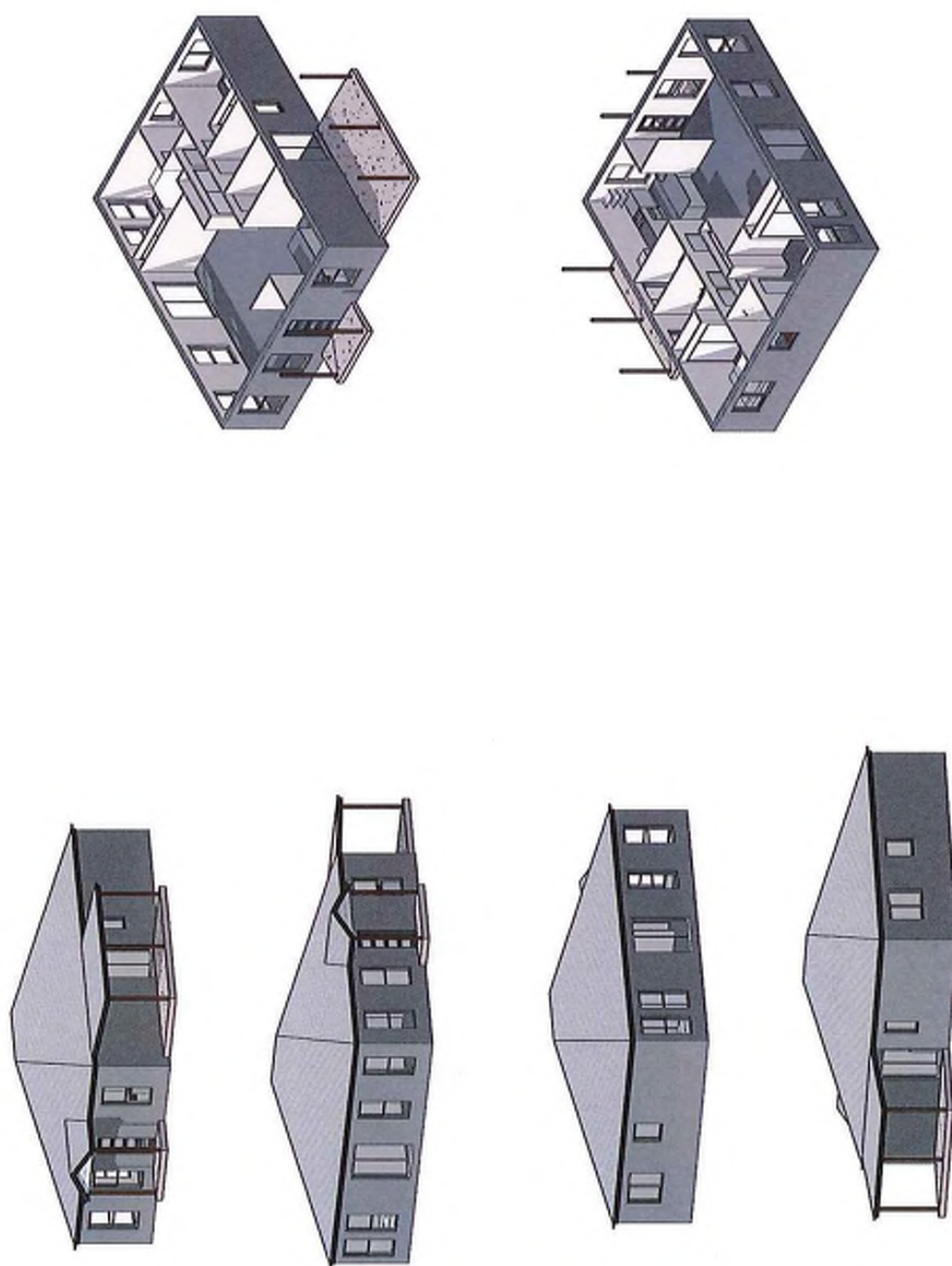
DOOR SCHEDULE		DOOR TYPE
MARK	SIZE	
D1	2040 x 820	HOLLOW CORE SWING
D2	2040 x 820	HOLLOW CORE SWING
D3	2040 x 820	HOLLOW CORE SWING
D5	2040 x 870	GLASS ENTRY DOOR
D6	2040 x 720	HOLLOW CORE SWING
D7	2040 x 720	HOLLOW CORE SWING

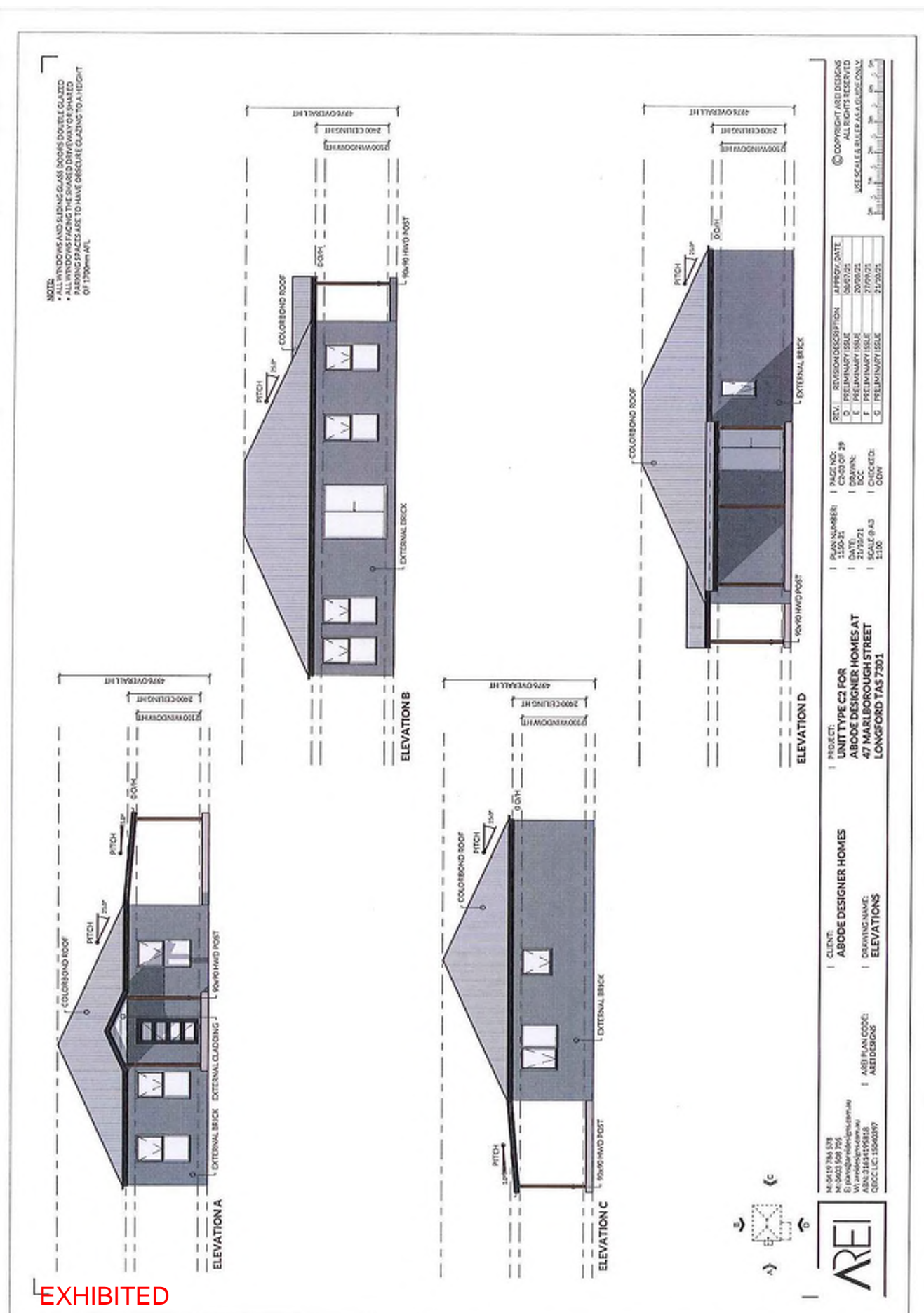
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- R4.0 BATTS TO CEILING
- R2.0 BATTS TO EXTERNAL WALLS AND GARAGE INTERNAL WALL
- DOWNLIGHTS TO BE MINICRATED
- ALL WINDOWS AND SLIDING GLASS DOORS DOUBLE GLAZED

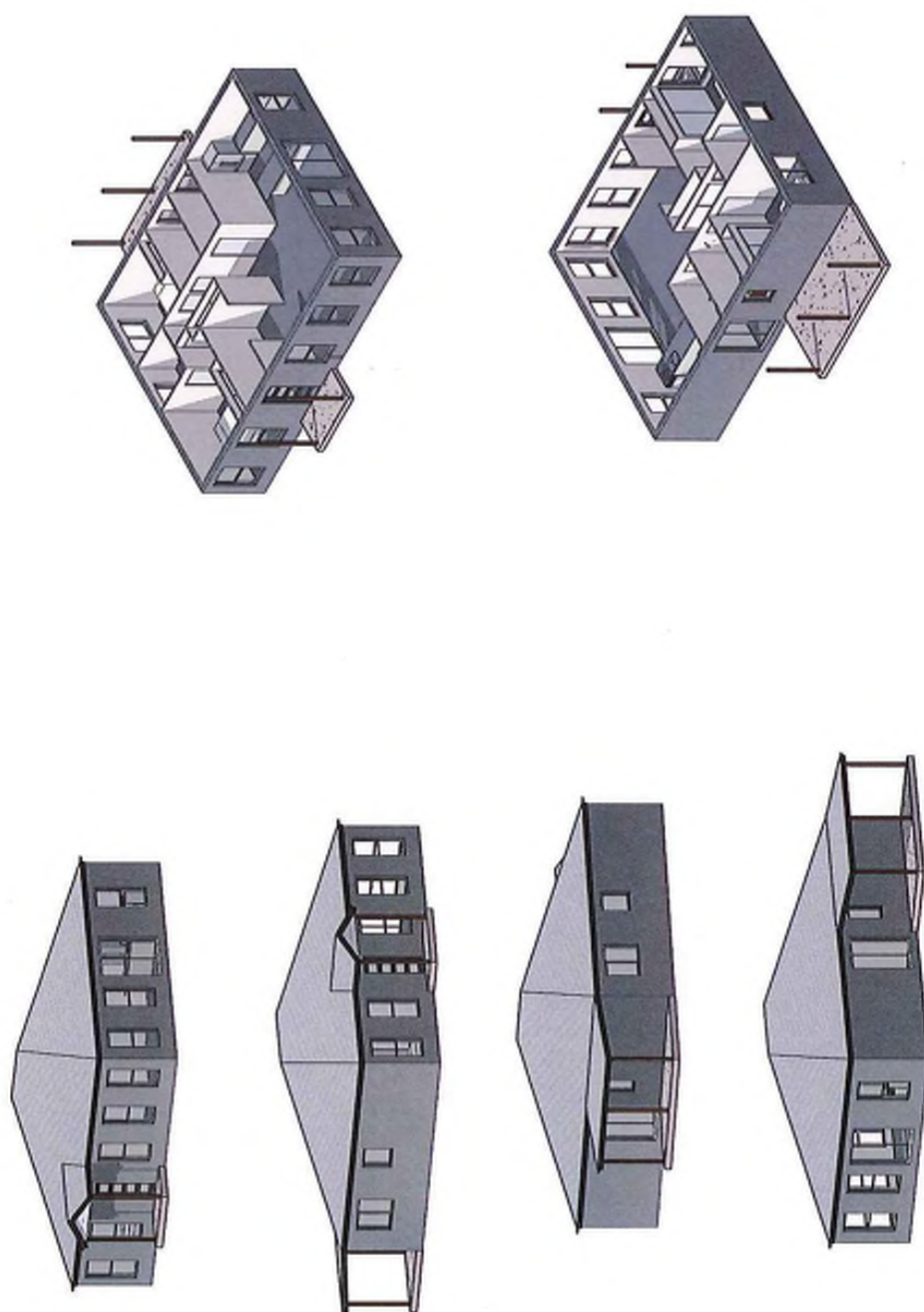
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REV.	REVISION DESCRIPTION	APPROVAL DATE
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E	PRELIMINARY ISSUE	20/08/21
F	PRELIMINARY ISSUE	27/08/21
G	PRELIMINARY ISSUE	27/10/21

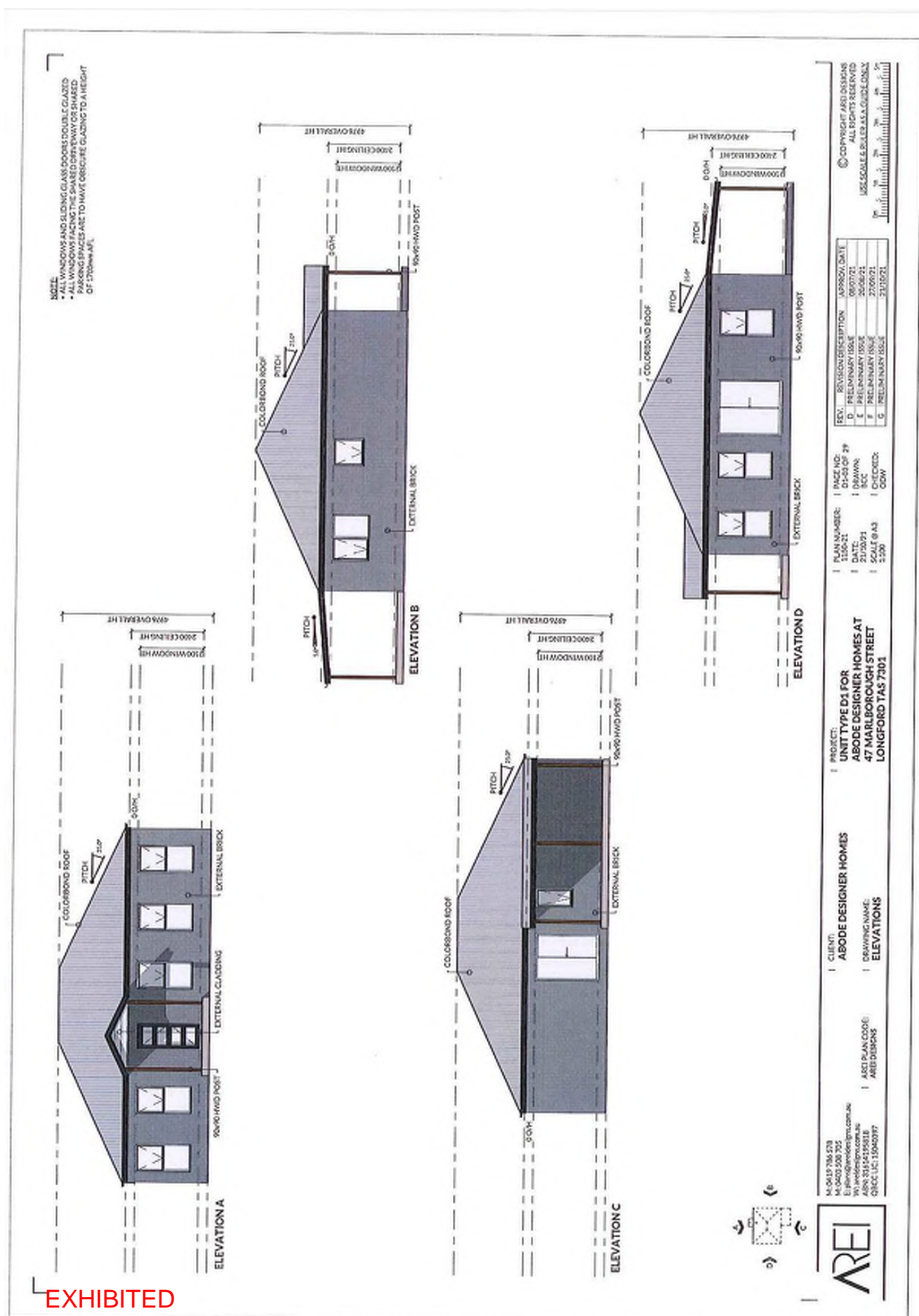
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DATE:	27/10/21
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CHECKED:	CCW

PROJECT:
UNIT TYPE D1 FOR
ABODE DESIGNER HOMES AT
47 MARLBOROUGH STREET
LONGFORD TAS 7301

CLIENT:
ABODE DESIGNER HOMES
DRAWING NAME:
3D VIEWS

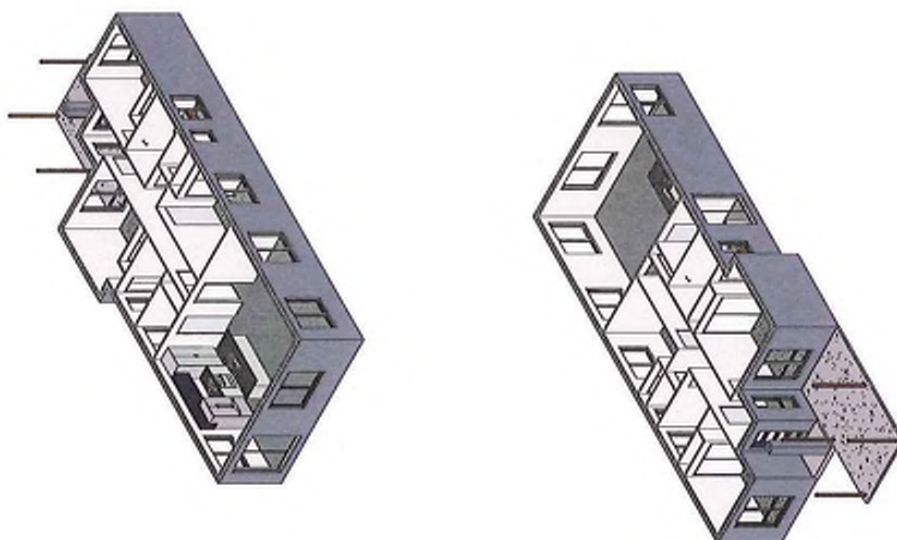
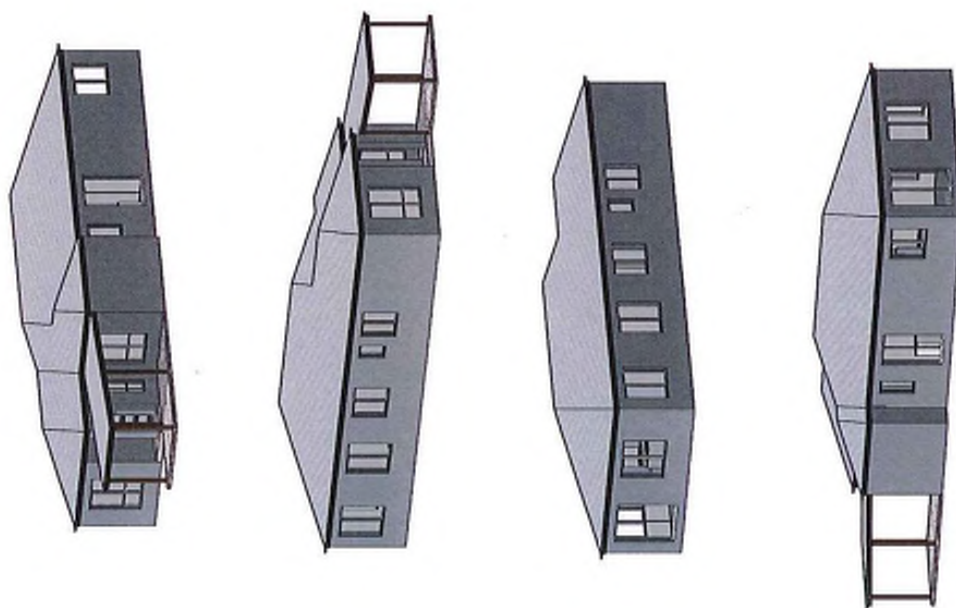
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AREI DESIGNS
QBCCLD: 15040397

AREI

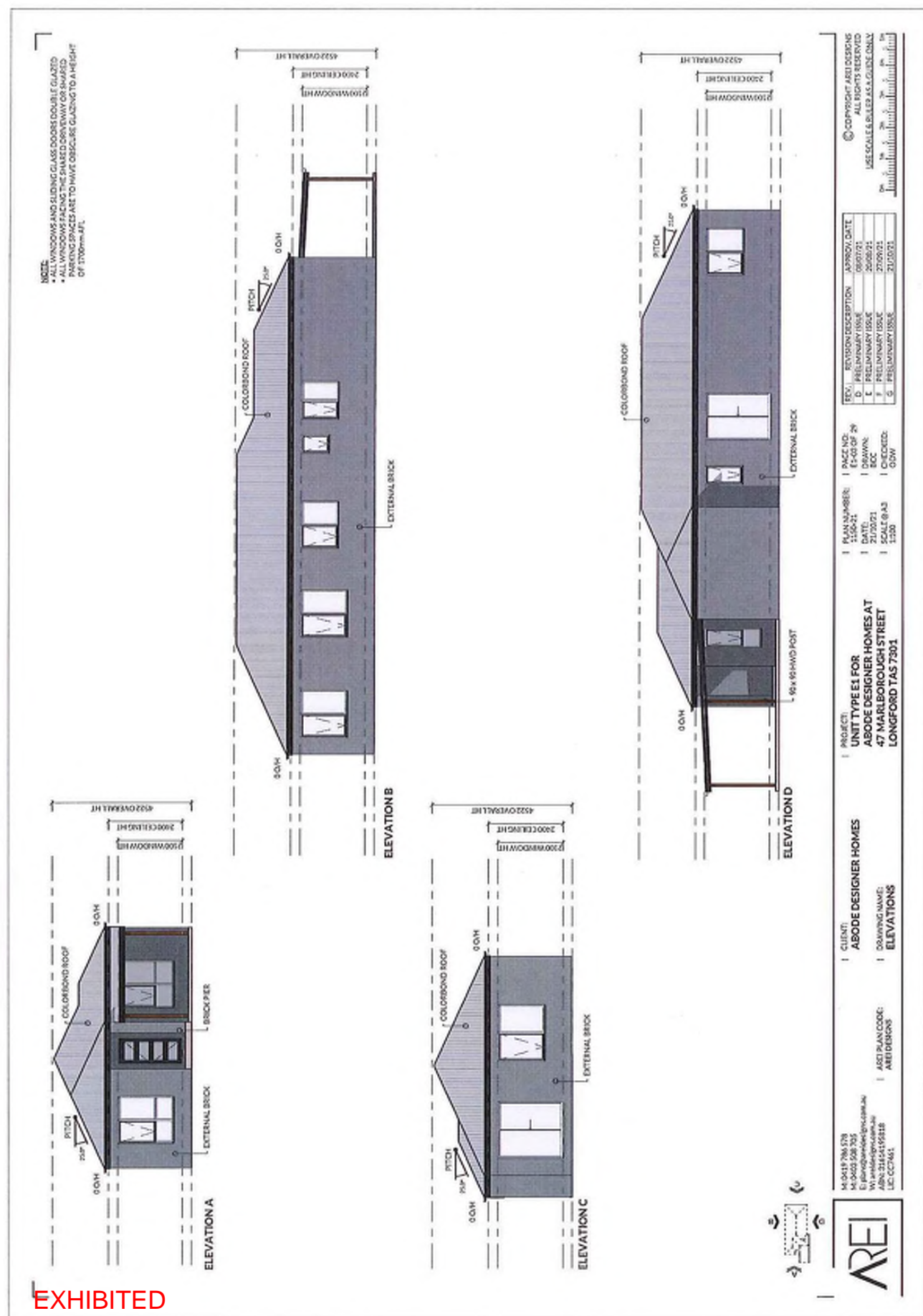


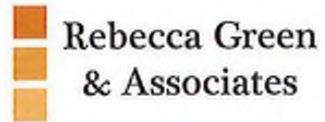
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NO 0437 786 378 12/04/2022 W: andrew@arei.com.au A: 08 2164 4792 U: 08 2164 4792	AREI ARCHITECTS	CLIENT: ABODE DESIGNER HOMES	PROJECT: UNIT TYPE E1 FOR ABODE DESIGNER HOMES AT 47 MARLBOROUGH STREET LONGFORD TAS 7301	PLAN NUMBER: E1-01 SCALE: 1/40 DATE: 15/01/22	PAGE NO: 29 OF 29 DRAWN BY: BCC CHECKED BY: DOW	REV. REVISION DESCRIPTION APPROV. DATE D PRELIMINARY ISSUE 15/01/22 E PRELIMINARY ISSUE 15/01/22 F PRELIMINARY ISSUE 27/05/22 G PRELIMINARY ISSUE 27/05/22	COPYRIGHT AREI DESIGN ALL RIGHTS RESERVED USE SCALE & RATED AS A GUIDE ONLY 1:50 1:100 1:200 1:400 1:600 1:800 1:1000 1:1200 1:1400 1:1600 1:1800 1:2000
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Appendix C: Traffic Impact Assessment

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60



47 MARLBOROUGH STREET

21 UNIT DEVELOPMENT

TRAFFIC IMPACT ASSESSMENT

SEPTEMBER 2021

EXHIBITED

Traffic Impact Assessment



47 Marlborough Street, Longford 21 Unit Development

TRAFFIC IMPACT ASSESSMENT

- Final 2
- September 2021

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Traffic Impact Assessment



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Traffic Impact Assessment



Document history and status

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Project number:

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Traffic Impact Assessment



1. Introduction

1.1 Background

A 21-unit multiple dwelling development is proposed at #47 Marlborough Street, Longford. A Traffic Impact Assessment (TIA) has been prepared that considers the existing roads and traffic affected, current and future traffic generation due to the proposal and the impact this will have on the adjacent road network.

This Traffic Impact Assessment (TIA) should be submitted with the development application for the proposal and has been prepared based on Department of State Growth guidelines and provide details as follows:

- Anticipated additional traffic and pedestrian movements.
- The significance of the impact of these movements on the existing road network
- Any changes required to accommodate the additional traffic.

1.2 Objectives

A Traffic Impact Assessment is a means for assisting in the planning and design of sustainable development proposals that consider:

- Safety and capacity
- Equity and social justice
- Economic efficiency and the environment and
- future development with traffic projections for 10 years

1.3 Scope of Traffic Impact Assessment (TIA)

This TIA considers in detail the impact of the proposal on Marlborough Street, Longford.

1.4 References

- AS 1742.1 – 2014 – General introduction and index of signs
- AS /NZS 2890.1 - 2004 – Off-street parking
- AS /NZS 2890.6 - 2004 – Off-street parking for people with disabilities
- RTA Guide to Traffic Generating Developments – 2002
- Northern Midlands Interim Planning Scheme 2013
- Austroads Guidelines
 - Road Design Part 4A: Unsignalised & Signalised Intersections 2021
 - Traffic Management Part 6: Intersections, Interchanges & Crossings 2020.

Traffic Impact Assessment



1.5 Statement of Qualifications and Experience

This TIA has been prepared by Richard Burk, an experienced and qualified traffic engineer in accordance with the requirements of the Department of State Growth's guidelines and Council's requirements. Richard's experience and qualifications include:

- 33 years professional experience in road and traffic engineering industry
 - Manager Traffic Engineering at the Department of State Growth until May 2017.
 - Previous National committee membership with Austroads Traffic Management Working Group and State Road Authorities Pavement Marking Working Group
- Master of Traffic, Monash University, 2004
- Post Graduate Diploma in Management, Deakin University, 1995
- Bachelor of Civil Engineering, University of Tasmania, 1987

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Director Traffic and Civil Services Pty Ltd

Traffic Impact Assessment



1.6 Glossary of Terms

AADT	Annual Average Daily Traffic - The total number of vehicles travelling in both directions passing a point in a year divided by the number of days in a year.
Acceleration Lane	An auxiliary lane used to allow vehicles to increase speed without interfering with the main traffic stream. It is often used on the departure side of intersections.
Access	The driveway by which vehicles and/or pedestrians enter and/or leave the property adjacent to a road.
ADT	Average Daily Traffic – The average 24-hour volume being the total number of vehicles travelling in both directions passing a point in a stated period divided by the stated number of days in that period.
Austrroads	The Association of Australian and New Zealand road transport and traffic authorities and includes the Australian Local Government Association.
Delay	The additional travel time experienced by a vehicle or pedestrian with reference to a base travel time (e.g. the free flow travel time).
DSG	Department of State Growth – The Tasmanian Government Department which manages the State Road Network.
GFA	Gross Floor Area
Intersection Kerb	The place at which two or more roads meet or cross. A raised border of rigid material formed at the edge of a carriageway, pavement or bridge.
km/h	Kilometres per hour
Level of Service	An index of the operational performance of traffic on a given traffic lane, carriageway or road when accommodating various traffic volumes under different combinations of operating conditions. It is usually defined in terms of the convenience of travel and safety performance.
m	Metres
Median	A strip of road, not normally intended for use by traffic, which separates carriageways for traffic in opposite directions. Usually formed by painted lines, kerbed and paved areas grassed areas, etc.
Movement	A stream of vehicles that enters from the same approach and departs from the same exit (i.e. with the same origin and destination).
Phase	The part of a signal cycle during which one or more movements receive right-of-way subject to resolution of any vehicle or pedestrian conflicts by priority rules. A phase is identified by at least one movement gaining right-of-way at the start of it and at least one movement losing right-of-way at the end of it.

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